



**CITY OF DENISON
PLANNING AND ZONING COMMISSION MEETING
AGENDA**

Tuesday, February 10, 2026

After determining that a quorum is present, the Planning and Zoning Commission of the City of Denison, Texas will convene in a Regular Meeting on **Tuesday, February 10, 2026, at 10:00 AM** in the Council Chambers at City Hall, 300 W. Main Street, Denison, Texas, at which the following items will be considered:

- 1. CALL TO ORDER**
- 2. INVOCATION AND PLEDGE OF ALLEGIANCE**
- 3. PUBLIC COMMENTS**

Citizens may speak on action items listed on the Agenda. A “Request to Speak Card” should be completed and returned to the Deputy City Clerk upon arrival, prior to the Commission reaching the Public Comment section of the agenda. Citizen comments are limited to three (3) minutes, unless otherwise required by law. Comments related to the Public Hearings listed below, if any, will be heard when the specific hearing starts.

4. CONSENT AGENDA

- A. Receive a report, hold a discussion, and take action on approving the Minutes from the January 13, 2026, Planning and Zoning Commission Meeting.

5. PUBLIC HEARINGS

- A. Receive a report, hold a discussion, conduct a public hearing, and make a recommendation on a request to rezone approximately ± 5.211 acres of land, legally described as Lots 1R & 2R, Block 2 of the Point Lookout Addition, Section Three (being a Replat of Lot 1, Block Two of the Replat of Block Two, Point Lookout Addition, Section Two), from the LR – Local Retail District within the HO – Highway Oriented and Corridor District to the C – Commercial District within the HO – Highway Oriented and Corridor District to allow the use of Hotel/Motel and Hotels, Extended Stay (Residence Hotels). (Case No. 2025-12Z)

- B. Receive a report, hold a discussion, conduct a public hearing, and take action on a Replat for the Webster Estate creating Lots 1R & 2R, Block 32, an addition to the City of Denison, being a Replat of Part of Block No. 32, of the Land Grant Railway & Trust Co. Land Addition. (Case No. 2025-13RP).
- C. Receive a report, hold a discussion, conduct a public hearing, and make a recommendation on a request for a Conditional Use Permit (CUP) for a tract of land legally described as being a part of the Laynes Addition, Block 21, Lot 5, as per Plat of Record in Volume 25, Page 59 per Deed Records, Grayson County, Texas, and being an approximately 0.1722 – acre tract of land; being commonly known as 816 W. Shepherd Street, GCAD Property ID No. 145236 to allow for an Accessory Dwelling Unit (ADU) within the 2F- Two-Family (duplex) Residential District. (Case No. 2025-17CUP)

6. ITEMS FOR INDIVIDUAL CONSIDERATION

7. STAFF UPDATES

8. PRESENTATION ON BOARD MEMBER RESPONSIBILITIES, THE TEXAS OPEN MEETINGS ACT, PUBLIC INFORMATION ACT, AND CONFLICTS OF INTEREST

9. ADJOURNMENT

CERTIFICATION

I do hereby certify that a copy of this Notice of Meeting was posted on the front window of City Hall readily accessible to the general public at all times and posted on the City of Denison website on the 4th day of February 2026.

Karen L. Avery, Deputy City Clerk

In compliance with the Americans with Disabilities Act, the City of Denison will provide for reasonable accommodations for persons attending City Council meeting. To better serve you, requests should be received 48 hours prior to the meetings. Please contact the City Clerk’s Office at 903-465-2720, Ext: 2437.



**CITY OF DENISON
PLANNING AND ZONING COMMISSION MEETING
MINUTES
Tuesday, January 13, 2026**

1. CALL TO ORDER

Announced the presence of a quorum.

Chair Charlie Shearer called the meeting to order at 10 a.m. Present for the Commission were Chair Charlie Shearer, Vice Chair Robert Sylvester, and Commissioners Kurt Cichowski, Angela Harwell, and Ernie Pickens. Present in the audience were newly appointed Alternate Commissioners Linda Anderson and George Mason.

Present for staff were Mary Tate, Director of Development Services; Dianne York, Planning Manager; Felecia Winfrey, Development Coordinator; Justin Castleberry, Planner; Kirk J. Kern, Chief Building Official; and Karen L. Avery, Deputy City Clerk.

The Invocation was delivered by Chair Shearer, followed by the Pledge of Allegiance led by Commissioner Cichowski.

- A. Administer Statements of Officer and Oaths of Office to newly appointed and reappointed Members.

Deputy City Clerk Karen Avery provided the Statement of Officer and administered the Oath of Office to reappointed Commissioners Angela Harwell, Ernie Pickens, and Robert Sylvester and newly appointed Alternate Commissioners Linda Anderson and George Mason.

- B. Hold a discussion and take action on the selection of a Chair and Vice Chair, each to serve a one-year term.

Commission Action

On motion by Commissioner Sylvester, seconded by Commissioner Pickens, the Planning and Zoning Commission appointed Charlie Shearer as Commission Chair.

On motion by Commissioner Pickens, seconded by Commissioner Harwell, the Planning and Zoning Commission appointed Commissioner Sylvester as Commission Vice Chair.

2. PUBLIC COMMENTS

No comment cards were returned to staff; therefore, public comments were not received.

3. CONSENT AGENDA

- A. Receive a report, hold a discussion, and take action on approving the Minutes from the November 11, 2025, Planning and Zoning Commission Meeting.

Commission Action

On motion by Commissioner Harwell, seconded by Commissioner Cichowski, the Planning and Zoning Commission unanimously approved the Consent Agenda.

4. PUBLIC HEARINGS

- A. Receive a report, hold a discussion, conduct a public hearing, and make a recommendation to initially zone approximately 0.194 acres of land legally described as being a part of the Morrison Rulon Survey, Abstract No. 1030, Grayson County, Texas, identified as Property ID No. 385905 by Grayson County Appraisal District, with a base zoning designation of Agricultural District. The property is also the subject of a voluntary petition for annexation. (Case No. 2025-04Z).

Commission Action

Dianne York, Planning Manager, presented this agenda item. Ms. York stated that the City has submitted a Voluntary Annexation Petition (Case No. 2025-02A) to bring the City-owned property, consisting of approximately 0.194 acres, into the Denison City limits. The subject property is located on the west side of FM 84, north of FM 406. In addition to submitting a Voluntary Annexation Petition, the City of Denison has submitted a Zoning Application requesting the initial zoning of Agriculture (A). Staff is seeking a recommendation from the Planning and Zoning Commission on the initial zoning of the subject property. The City Council will take action on both the Voluntary Annexation Petition and Zoning Application at the regular scheduled meeting on January 20, 2026.

Chair Shearer asked if there was anyone who wished to speak on this item, to which there were none. With that, the Public Hearing was closed.

On motion by Commissioner Cichowski, seconded by Commissioner Harwell, the Planning and Zoning Commission recommended approval of a request to initially zone approximately 0.194 acres of land legally described as being a part of the Morrison Rulon Survey, Abstract No. 1030, Grayson County, Texas, identified as Property ID No. 385905 by Grayson County Appraisal District, with a base zoning designation of Agricultural District.

- B. Receive a report, hold a discussion, conduct a public hearing, and make a recommendation to initially zone approximately 14.753 acres of land, located generally south of FM 1310, and legally described as being a part of the Jesse Myers Survey, Abstract No. 837, Tract Two, Grayson County, Texas, described in the Warranty Deed from George H. Rowland and Majorie V. Rowland, to Maurice A. Weisberg and Gloria Weisberg, on April 28, 1967, recorded in Vol. 1080, Page 240, of the Grayson County Deed Records, with a base zoning designation of Agricultural District. The property is also the subject of a voluntary petition for annexation (Case No. 2025-05Z).

Commission Action

Dianne York, Planning Manager, presented this agenda item. Ms. York stated that the City of Denison has submitted a Voluntary Annexation Petition (Case No. 2025-03A) to bring the City-owned property, consisting of approximately 14.753 acres, into the Denison City limits. The subject property is located on the south side of FM 1310. In addition to submitting a Voluntary Annexation Petition, the City of Denison has submitted a Zoning Application requesting the initial zoning of Agriculture (A). Staff is seeking a recommendation by the Planning and Zoning Commission on the initial zoning of the subject property. The City Council will take action on both the Voluntary Annexation Petition and Zoning Application at the regular scheduled meeting on January 20, 2026.

Chair Shearer asked if there was anyone who wished to speak on this item, to which there were none. With that, the Public Hearing was closed.

On motion by Commissioner Pickens, seconded by Vice Chair Sylvester, the Planning and Zoning Commission recommended approval of a request to initially zone approximately 14.753 acres of land, located generally south of FM 1310, and legally described as being a part of the Jesse Myers Survey, Abstract No. 837, Tract Two, Grayson County, Texas, described in the Warranty Deed from George H. Rowland and Majorie V. Rowland, to Maurice A. Weisberg and Gloria Weisberg, on April 28, 1967, recorded in Vol. 1080, Page 240, of the Grayson County Deed Records, with a base zoning designation of Agricultural District.

- C. Receive a report, hold a discussion, conduct a public hearing, and make a recommendation on a request for a Conditional Use Permit (CUP), for a bar and mobile food unit in the LR – Local Retail District within the CH – Commercial Historic Overlay District, and the AO – Austin Avenue Overlay District, approximately .1481 acres, Lot 1, Block 38, out of the OTP Denison Survey, 150 X 43 (C), 6,450 SQ FT., GCAD Property ID No. 143046, commonly known as 221 N. Austin Avenue. (Case No. 2025-15CUP).

Commission Action

Dianne York, Planning Manager, presented this agenda item. Ms. York stated that the subject property is located at or near the southwest corner of Gandy Street and Austin Avenue. The property is currently operated as Slush Premium Daiquiris and has been in operation for some time under an existing conditional use permit for a bar. The applicant is requesting a new conditional use permit to allow an expansion of

operations, which includes the addition of a mobile food unit. The property is zoned Local Retail and is located within two overlay districts. Aside from the request for the mobile food unit, no changes are proposed to the original conditional use permit. There are no proposed changes to hours of operation, traffic patterns, or the existing drive-thru located on the west side of the site. On-site parking will remain unchanged. The proposed location for the mobile food unit is on the north side of the property, between the drive-through and the parking area, as shown as Option Two on the site plan included in the agenda packet. This location has been reviewed and approved by the Fire Marshal and is considered the safest and most appropriate placement. As the request does not amend any other conditions of the original approval, staff recommended approval. The request is consistent with the Comprehensive Plan. Ms. York stated that the Applicant is present to speak to the matter.

Chair Shearer asked if there was anyone who wished to speak on this agenda item.

Ms. Heather LaRosa came forward and provided the following information for the record:

Name: Ms. Heather LaRosa, Applicant

Address: 221 N. Austin Avenue
Denison, TX 75020

Ms. LaRosa stated that she is the owner of Slush Premium Daiquiris and she is assisting Mauricio and Alejandro with the food truck. In response to Commissioner Cichowski's inquiry, Ms. LaRosa stated that, in discussions with the Fire Marshal, the primary issue was the ten-foot setback requirement, with the building overhang being considered part of the structure. Either proposed location for the mobile food unit would be acceptable. Option One was preferred due to increased visibility from the street; however, the alternate location is also suitable. All utilities, including electric and water, are self-contained within the mobile unit, and the unit will not be connected to the building for any services. The mobile food unit will function as a separate and independent use and will be located entirely within the existing parking area.

Chair Shearer asked if there was anyone else who wished to speak on this item, to which there were none. With that, the Public Hearing was closed.

On motion by Commissioner Cichowski, seconded by Commissioner Harwell, the Planning and Zoning Commission recommended approval of a request for a Conditional Use Permit (CUP), for a bar and mobile food unit in the LR – Local Retail District within the CH – Commercial Historic Overlay District, and the AO – Austin Avenue Overlay District, approximately .1481 acres, Lot 1, Block 38, out of the OTP Denison Survey, 150 X 43 (C), 6,450 SQ FT., GCAD Property ID No. 143046, commonly known as 221 N. Austin Avenue.

- D. Receive a report, hold a discussion, conduct a public hearing, and take action on a Replat for Lot 1R and 2R of the Lillis at 120 Addition, being a Replat of Lot 1, Price Memorial Addition and adjoining tract to the North, being 5.574 acres. (Case No. 2025-09RP).

Commission Action

Dianne York, Planning Manager, presented this agenda item. Ms. York stated that the Applicants are seeking approval of the proposed Replat for property located at the corner of S. Lillis Lane and FM 120. The purpose of the Replat is to provide additional acreage to the proposed Lot 2R. The proposed Lot 1R has been developed in a commercial manner. The properties are zoned Local Retail (LR), Commercial (C), and falls within the Highway Oriented and Corridor Overlay (HO) District. Lot 2R will require several applications prior to development of the lot. Both lots have adequate access to Lillis Lane, FM 120 and York Avenue. Additionally, both lots have access to water and sewer. Staff recommended approval of the request and Ms. York stated that the Applicant is present to speak to the matter.

Chair Shearer asked if there was anyone who wished to speak on this agenda item.

Ms. Kate Wagner came forward and provided the following information for the record:

Name: Ms. Kate Wagner, Surveyor

Address: 222 W. Main Street
Denison, TX 75020

Ms. Wagner stated that she is speaking on behalf of the Applicant, who was unable to be present today. Ms. Wagner stated that the Applicant does not have specific development plans at this time. The primary purpose of the request, as noted by staff, is to incorporate a portion of the bank property into the adjacent parcel in order to separate the properties and establish them as legally distinct parcels.

Chair Shearer asked if there was anyone else who wished to speak on this item, to which there were none. With that, the Public Hearing was closed.

On motion by Commissioner Harwell, seconded by Commissioner Pickens the Planning and Zoning Commission approved a Replat for Lot 1R and 2R of the Lillis at 120 Addition, being a Replat of Lot 1, Price Memorial Addition and adjoining tract to the North, being 5.574 acres.

- E. Receive a report, hold a discussion, conduct a public hearing, and take action on a Replat for Lot 1R and 2R, Block 7 of the Millers First Addition, being a Replat of Lot 1, Block 7, Miller's First Addition. (Case No. 2025-01RP).

Commission Action

Dianne York, Planning Manager, presented this agenda item. Ms. York stated that the Applicant is requesting approval of the proposed Replat creating two (2) legal lots of record from one (1) lot. The subject property is zoned MF-1, Multi-Family Residential. The property is currently developed with two residential structures on a single lot: a duplex fronting on W. Sears Street and a single-family residence fronting on N. Scullin Avenue. The applicant is seeking the Replat to subdivide the existing lot into two separate lots, allowing each structure to occupy its own parcel. To facilitate this subdivision, the plat requires the Planning and Zoning Commission to consider granting exceptions to the development standards outlined in Section 28.30 of the Zoning Ordinance. The existing structures do not meet the minimum building setbacks or lot coverage requirements and the proposed lot configuration does not comply with the minimum lot dimensions or area standards specified in Section 28.30. Currently, the structures are designated as legal non-conforming. If the proposed Replat is approved by the Planning and Zoning Commission, the structures will retain their legal non-conforming status, allowing for remodeling but prohibiting any expansion. Staff is supportive of the proposed Replat given that the two structures have been developed and functioning independently for several years and each structure has separate utility connections and individual metering. Ms. York stated that the Applicant is present to speak on the matter.

Chair Shearer asked if there was anyone who wished to speak on this agenda item.

Mr. Andrew Cassady came forward and provided the following information for the record:

Name: Mr. Andrew Cassady, Applicant

Address: 450 Oasis Drive
Denison, TX 75020

Mr. Cassady stated that the request is to separate the two properties so that each may exist independently, as they are currently tied together.

Chair Shearer asked if there was anyone else who wished to speak on this item, to which there were none. With that, the Public Hearing was closed.

On motion by Commissioner Pickens, seconded by Commissioner Harwell the Planning and Zoning Commission approved a Replat for Lot 1R and 2R, Block 7 of the Millers First Addition, being a Replat of Lot 1, Block 7, Miller's First Addition.

- F. Receive a report, hold a discussion, conduct a public hearing and make a recommendation to amend Section 28.50 (Off-street parking and loading requirements), Section 28.54 (Exterior construction and design standards), and related sections of the Zoning Ordinance to add Architectural Design Standards for new residential development. (Case No. 2025-16ZO)

Dianne York, Planning Manager, introduced Consultant Phyllis Jarrell. Ms. Jarrell stated that she is here for the formal public hearing regarding the adoption of architectural design standards for residential development. The Commission previously reviewed and discussed the proposed standards at two meetings. Based on feedback from the Commission and from local builders, including comments received during a builders' meeting held in December, staff has revised the proposal. The purpose of this hearing is to present the final ordinance language and amendments for the Commission's consideration and recommendation to City Council. Ms. Jarrell reviewed the following:

- In mid-2025, the Planning and Zoning Commission discussed the need for additional architectural design standards as more new housing, both single-family and multi-family, is being built in the city.
- The Commission identified issues with building articulation and roof pitch, garage door placement and orientation, driveway pavement in front yards and amenities for multi-family developments.
- The City engaged City Centric Planning LLC as a consultant to prepare ordinance amendments to adopt architectural design standards.
- At its September 9, 2025 and November 11, 2025 meetings, the Commission heard presentations on options for architectural standards, provided comments and direction, and formally called a public hearing to consider ordinance amendments at a future date.
- On December 18, 2025, local home builders attended a presentation and provided comments on the proposed ordinance amendments.
- Based on the Commission's direction from its meetings and comments from the builders, proposed ordinance amendments have been prepared for consideration and adoption.

Background Information and Analysis

At its September 9, 2025, and November 11, 2025, meetings, the Planning and Zoning Commission discussed and provided direction on issues related to the adoption of architectural design standards for new residential development within the city. Discussion focused on regulations for building articulation, architectural features such as porches, windows, shutters and dormers; garage door placement and orientation; limitations on paving in the front yard; and amenities for multi-family projects. The Commission also discussed challenges in developing standards that are appropriate for a wide range of housing types and architectural styles, and the potential increase in the cost of construction and housing prices if standards are implemented. The standards will apply to single-family, duplexes, tri-plexes, quadraplexes and townhomes as well as new multi-family developments. Commissioners also addressed:

- The desire to see more utilization of alleys and rear parking and less paving in front yards
- The need for design standards for accessory dwelling units
- Regulations for mechanical unit screening
- Proper roof pitch requirements that address overhangs and clearance.

Issues from Builders' Meeting

On December 18, 2025, area home builders participated in a meeting to review and discuss the proposed ordinance amendments with staff. Issues raised by the builders include:

- Additional costs related to meeting enhanced architectural design standards impact already marginal profits.
- The cost of building in Denison compared to other local cities when all fees and requirements are met.

Suggested changes to the proposed ordinance requirements include:

- Eliminating the grass strip required between duplex driveways if a shared driveway is used for both units.
- Exempting porch roofs from the minimum roof pitch requirement since these are frequently less than the 4" x 12" minimum.

Both of these suggestions have been incorporated into the proposed ordinance language.

Proposed Architectural Design Standards

The proposed architectural design standards are focused on the following goals:

- Improving the streetscape and promoting high quality and durable residential construction
- Encouraging a wide variety of housing types and styles
- Allowing new infill residential development to blend with and complement the architecture of existing houses.
- Providing a wide range of design options for builders to maintain flexibility in design

The majority of the design standards will become part of the current Section 28-54 Exterior Construction and Design Requirements in the Zoning Ordinance for easy reference. A set of definitions will also accompany the standards. Other sections of the Zoning Ordinance will be amended to address driveway and parking standards and to

eliminate requirements for the use of specific building materials, since the Texas Statutes no longer allow cities to enforce masonry requirements. In addition, setbacks for garage doors from public streets and alleys will be standardized across all residential zoning districts. The proposed design standards are comparable to those of other area cities and are outlined in the following sections. The proposed amendments to specific sections of the Zoning Ordinance are attached as well. New language is underlined, and deleted sections are noted with a strikethrough.

Single-Family Detached, Duplex, Tri-plex and Quadraplex Residential Standards

Building Articulation – Builders must use three of these architectural features:

- Dormers (with windows)
- Arches (windows or doors)
- Secondary gables
- Bay or Box Windows
- Brackets
- Base Courses
- Quoins
- Decorative Brick Patterns
- Extended Front Porch of at least 50 square feet
- Recessed Porch a minimum of 24 inches wider than the front door
- Shutters
- Roof Extension Awning
- Façade Articulation with a minimum offset of three (3) feet

Currently, garages may not extend past the front of the main part of the house. The proposed change is to allow the garage to extend up to three feet past the front of the house, to encourage more articulation and prevent flat facades.

Driveways and Parking Construction — To encourage less parking and paving in front yards, builders will have the option of installing a ribbon driveway to access parking spaces in the rear yard, in addition to the typical solid paved driveway surface now required. Ribbon drives have two narrow paved strips separated by grass. Ribbon driveways reduce stormwater runoff and are less expensive to install and maintain.

Duplex Driveways — For duplexes with driveways in the front yard, a minimum three-foot wide grass strip will be required to separate the driveways. However, if a single driveway is shared by the two units, the grass strip will not be required.

Tri-plexes and Quadraplexes — All parking spaces must be located to the rear of the main building and accessed by a driveway located along the side yard from the street or accessed from the alley.

Roof Treatment — To address both gabled and hipped roofs, the minimum roof pitch shall be 4” x 12” (four inches vertical rise for every 12 inches horizontal run). Minimum roof overhangs will be required based on the pitch of the roof. The minimum roof pitch will not apply to porch roofs, which are frequently built at a lower pitch.

Elevation Repetition — For new subdivisions, the goal is to provide a variety of house styles and designs without having the same elevations adjacent to or in close proximity on the same block or across intersections. The proposed regulations would apply to single-family and duplex subdivisions with more than 10 lots and prohibit the use of substantially identical elevations on lots directly across the street or within two lots in either direction. For corner lots, the same elevation cannot be used diagonally across the intersection.

It can be challenging to determine what is “substantially identical.” The proposed ordinance language would require that three of the following be changed to not be considered substantially identical:

- Number of stories
- Garage location/orientation
- Roof type
- Articulation of the front façade
- Configuration of the porch width, type of porch and roof coverage
- Façade building materials

Multi-Family Residential Standards

Design standards for multi-family buildings must be applicable to both small infill projects as well as larger developments with hundreds of units. As with townhouses, the size and scale of multiple buildings on a property must be considered. The following standards would apply to multi-family development with two or more buildings.

Building Articulation – Horizontal wall planes longer than 40 feet in length must be segmented into smaller sections by an offset (recess or projection) of a minimum of three feet deep and 8 feet wide, applied to at least one-half of the height of the wall.

Roof Treatment – Roofs must feature dormers, gables, or a change in the roof height or form of a minimum of three feet in height. Flat roofs are permitted only with a parapet screen.

Architectural Features – Each multi-family building must incorporate two of the following:

- Balconies/patios for one-half of the units
- A minimum of two different façade materials
- Roof extension awnings
- Shutters for one-half of the windows
- Canopies or awnings

Exterior Stairways – Stairways directly accessing the exterior shall be fully or partially enclosed.

Mechanical Unit Screening – Roof mounted mechanical units must be screened with a parapet wall, screening device or alternative architectural element, equal to the height of the unit or no more than five feet above the roof.

Ground-mounted mechanical units shall be screened by a wooden fence a maximum of six feet in height or by shrubs that will grow to a height of four feet within two years of installation.

Amenities – The Zoning Ordinance currently requires one swimming pool for any development with fifty units or more, and playgrounds at a rate of one for every one-hundred units. The proposed regulations would flip this calculation, and require one playground for fifty or more units, and one swimming pool for developments with one hundred or more units.

Apartment developers today provide a wide range of amenities in addition to pools and playgrounds, and the proposed ordinance would require developments with one hundred or more units to provide one or more of the following:

- Dog park with a minimum of 2500 square feet of space enclosed by a fence and providing at least one dog waste station with bag dispenser and waste receptacle
- Ramadas, arbors or trellises covering at least 1000 square feet
- One outdoor barbecue grill for every 100 units
- A splash pad a minimum of 1000 square feet in size
- Regulation—size volleyball, basketball, tennis, pickleball or other sport court
- Fitness center a minimum of 500 square feet in size
- Business center a minimum of 500 square feet in size
- Media room a minimum of 500 square feet in size

Ms. Jarrell stated that staff recommends that the Commission forward a recommendation to City Council for approval of the Design Standards. Ms. Jarrell responded to Commissioner's questions.

Chair Shearer asked if there was anyone who wished to speak on this item, to which there were none. With that, the Public Hearing was closed.

On motion by Commissioner Pickens, seconded by Commissioner Harwell, the Planning and Zoning Commission recommended approval of the proposed amendments to the Zoning Ordinance to regulate Architectural Design Standards for residential development.

5. STAFF UPDATES

Dianne York, Planning Manager, expressed appreciation to the Commission for their time and effort in developing the Residential Architectural Standards. She stated that the process began with a workshop, included several staff updates, and has culminated in the current review. Ms. York acknowledged the Commission's input and dedication in moving this initiative forward.

Looking ahead, Ms. York noted that additional items will be presented in workshop format. These may include standards for accessory dwelling units, with a focus on life and safety requirements and the potential for expanded allowances throughout the City. Staff will also address updates to the Zoning Ordinance, specifically the Use Regulation Chart, which is currently outdated. These items are expected to be brought before the Commission the first meeting in February for consideration and potential recommendation for public hearings. Ms. York also mentioned that training sessions for the Commissioners and Alternate Commissioners are planned in conjunction with these upcoming discussions.

6. ADJOURNMENT

There being no further business to come before the Commission, the meeting was adjourned at 10:48 a.m.

CHARLIE SHEARER, Chairman

ATTEST:

Karen L. Avery, Deputy City Clerk

Planning and Zoning Commission
Staff Report
February 10, 2026



Agenda Item: Receive a report, hold a discussion, conduct a public hearing, and make a recommendation on a request to rezone approximately ± 5.211 acres of land, legally described as Lots 1R & 2R, Block 2 of the Point Lookout Addition, Section Three (being a Replat of Lot 1, Block Two of the Replat of Block Two, Point Lookout Addition, Section Two), from the LR – Local Retail District within the HO – Highway Oriented and Corridor District to the C – Commercial District within the HO – Highway Oriented and Corridor District to allow the use of Hotel/Motel and Hotels, Extended Stay (Residence Hotels). (Case No. 2025-12Z)

Staff Contact:

Dianne York, Planning Manager
dyork@denisontx.gov
903-465-2720

Summary

- The applicant is requesting to rezone the subject property from the Local Retail Zoning District to the Commercial Zoning District.
- The property falls within the Highway Oriented and Corridor Overlay District. The property will retain this Overlay designation.
- The subject property has been developed in a Hotel/Motel manner. The applicant is pursuing the rezone to accommodate the existing use and future uses.

Staff Recommendation

Staff recommends approval of this request.

Recommended Motion

"I move to recommend approval of changing the zoning of the subject property from the Local Retail District within the Highway Oriented and Corridor Overlay District to the Commercial District within the Highway Oriented and Corridor overlay District to allow for a Hotel/Motel and Hotel, Extended Stay (Residence Hotel)."

Background Information and Analysis

Staff has received an application requesting a rezone of approximately 5.211 acres to the Commercial Zoning District to allow for the potential development of a Hotel/Motel and a Hotel, Extended Stay (Residence Hotel).

The subject property is currently developed for non-residential use, with a La Quinta hotel located on-site. The applicant seeks to rezone the property to the Commercial District to allow for the construction of additional hotels. The proposed development includes a three-hotel complex with a combined total of 255 rooms across three structures. The property lies within the Highway Oriented and Corridor Overlay District, which imposes additional development standards for properties near the US 75 corridor.

This request pertains solely to rezoning. However, prior to development, the applicant must comply with multiple requirements, including but not limited to a replat, site plan, and civil engineering plans. Additionally, because the property is adjacent to TxDOT, the applicant must submit a Traffic Impact Analysis (TIA). This analysis will identify necessary measures to mitigate traffic impacts resulting from the new development.

According to Ordinance Section 28.10, City staff and the Planning and Zoning Commission shall consider the following factors when reviewing rezone requests:

1. Whether the uses permitted by the proposed change will be appropriate in the immediate area concerned, and their relationship to the general area and to the city as a whole;

The majority of the area near the subject property has been developed in a non-residential manner. The property to the west of the subject property is zoned Planned Development (PD) to accommodate a multifamily development.

2. Whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other utilities to the area;

N/A

3. The amount of vacant land currently classified for similar development in the vicinity and elsewhere in the city, and any special circumstances that may make a substantial part of such vacant land unavailable for development;

Rezoning of this property will not impact the availability of similar land for development.

4. The recent rate at which land is being developed in the same zoning classification as the request, particularly in the vicinity of the proposed change;

Some of the land near the subject property has been developed in a non-residential manner. Several properties along FM 120 have been developed in a commercial manner over the past three years.

5. How other areas designated for similar development will be, or are likely to be, affected if the

proposed amendment is approved;

N/A

6. Whether the zoning petition is consistent with the current land use plan; and

The Future Land Use Map calls for the subject area to be developed in a “Mixed Commercial” manner. This rezoning request complies with the Future Land Use Plan.

7. Any other factors that will substantially affect the public health, safety, morals, or general welfare.

Other factors which may substantially affect general welfare have been addressed above.

Financial Considerations

- N/A

Prior Board or Council Action

- N/A

Alternatives

- The Planning and Zoning Commission may table, recommend denial or recommend approval with conditions.

Rezoning request for 5.211 Acres - at 801 N US HWY 75 N, Denison

From:

Chhater Pati and Veena Jain Revocable Living Trust

801 N US HWY 75 N Denison, TX 75020

To:

The City Planning & Zoning Commission and

City Council City of Denison

300W. Main Street, Denison, TX 75020

SUBJECT: Request for Land Use Change, for 5.211 Acres at 801 N US HWY 75 N —
From Local Retail within the Highway Oriented and Corridor Overlay district to
Commercial zoning within the Highway Oriented and Corridor Overlay.

The Honorable Members,

Please accept this letter and the accompanying application materials as a formal request to rezone the property located at 801 N & 821 N, Denison, TX. The property's legal description is POINT LOOKOUT ADDN SEC 3 REPLAT LT 1 BLK 2 SEC TWO, BLOCK 2, LOT 1 R, Acres 2.839 & POINT LOOKOUT ADDN SEC 3 REPLAT LT 1 BLK 2 SEC TWO, BLOCK 2, LOT 2R, Acres 2.318 and its current zoning district is Retail Business.

The following details outline the proposed changes and our commitment to meeting the city's development standards:

1. Proposed Zoning and Use: We are requesting a change from Local Retail within the Highway Oriented and Corridor Overlay district to Commercial zoning within the Highway Oriented and Corridor Overlay to facilitate developing a three-hotel complex totaling 255 rooms, (including existing La Quinta having 75 rooms) and one of the new hotels will have 30 Extended Stay rooms. with full kitchen in one of the proposed hotels.
2. Proposed Project Details: A 75-room hotel named La Quinta Inn & Suites was originally constructed on this parcel in 1995. Currently, more than two-thirds of the land remains vacant and available for expansion. Although the existing Retail Business Land Use designation permits the construction of a hotel, it does not permit extended stay rooms in retail business zoning, whereas extended stay rooms are required by professionals like doctors, nurses and technocrats who frequently visit Texoma hospital, Denison, but no hotels in Denison and Sherman provide extended stay facilities. We propose developing a three-hotel complex totaling 255 rooms, including 75 rooms, La Quinta exists to facilitate the development and one of the new hotels will have 30 Extended Stay rooms.
3. Site Plan: A site plan has been submitted with this application, which illustrates the proposed layout of the property, including building placement, lot lines, and any new infrastructure.
4. Parking: We will abide by city norms and decision for providing parking'
5. Fire lanes: All newly proposed roads are 26ft wide.
6. Landscaping and screening: We will comply with the Denison Code of Ordinances and neighboring property requirements. On the west side of our project, the city of Denison, while rezoning two lots, Property ID 218012 and 266036, along Highpoint Circle and Highland Drive vide Case No. 2021-052Z May, 11th, 2021, had asked them to provide a screening along our property, thus they are under obligation to provide requisite screening. On the north side of boundary, the adjoining land zone is Agriculture, and a forest exists. There already exist barbed wire fencing.
8. Materials: we will use all material as per prescribed standard of Denison city.

9. Services: All services like storm drainage, electricity, water line or sewer line are available on or near the land under question

10. Impact on Surrounding Area: We have considered the potential impact of this development on the surrounding area and believe it will be a positive addition to the community.

We are aware of and will adhere to all city ordinances and regulations throughout the development process. We are committed to a transparent and collaborative process.

11. The Proposed Redevelopment

Our plan involves a substantial expansion of the site by adding two new, professionally managed hotel properties. This creates a synergistic hospitality hub designed to meet the diverse and growing accommodation needs of the Denison market.

103 Keys (Total) Dual-Brand Mid-Scale Hotel is specifically designed for professional and extended-stay guests, featuring 73 Regular Rooms: Designed for short-term stays and 30 Extended-Stay Suites equipped with full kitchen for guests requiring longer-term accommodation.

77 Keys economy hotel is designed for Leisure & Value-Conscious Travelers

Both proposed hotels (totaling 180 Keys) will offer a full suite of modern amenities to enhance the guest experience, including dedicated exercise room, an outdoor/Indoor pool, a welcoming patio/social area, a business center, and a dining hall for complimentary hot/continental breakfast service.

12. Economic Impact and Community Benefit

We estimate an investment of approximately \$27,000,000 for the construction of an additional 180 rooms (at an average of \$150,000 per room). This immediately injects substantial capital into the local construction industry.

Job Creation: The project will create numerous new, permanent jobs in hospitality management, operations, and maintenance upon completion.

13. Maximized Tax Revenue: The development will ensure a substantial and permanent increase in both Property Tax and Hotel Occupancy Tax (HOT) revenue, providing strong, recurring income stream for the City of Denison.

Stimulation of Local Commerce: The influx of new transient professional and leisure visitors will directly create business opportunities for surrounding local retailers, restaurants, and service providers.

14. Enhanced Aesthetics: The new development will utilize modern architectural design and landscaping, significantly enhancing the visual appeal of this key commercial corridor.

15. Our Proposal Conclusion and Formal Request

We have diligently planned this project to ensure the optimum utilization of this critical land parcel. We are confident that this redevelopment will be a net positive for the city of Denison, bringing economic vitality, significant new tax revenue, and a much needed increase in high-quality hospitality services. We believe this redevelopment will significantly contribute to Denison's economic growth, tourism appeal, and infrastructure modernization.

We respectfully submit that the City of Denison Planning & Zoning Commission and the City Council approve the requested land use change from Local Retail within the Highway Oriented and Corridor Overlay district to Commercial zoning within the Highway Oriented and Corridor Overlay.

We look forward to your support in making this vision a reality.

Thank you for your consideration and your continued commitment to strategic growth of Denison, Texas.

Chhater P Jain

Trusty,

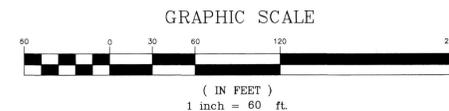
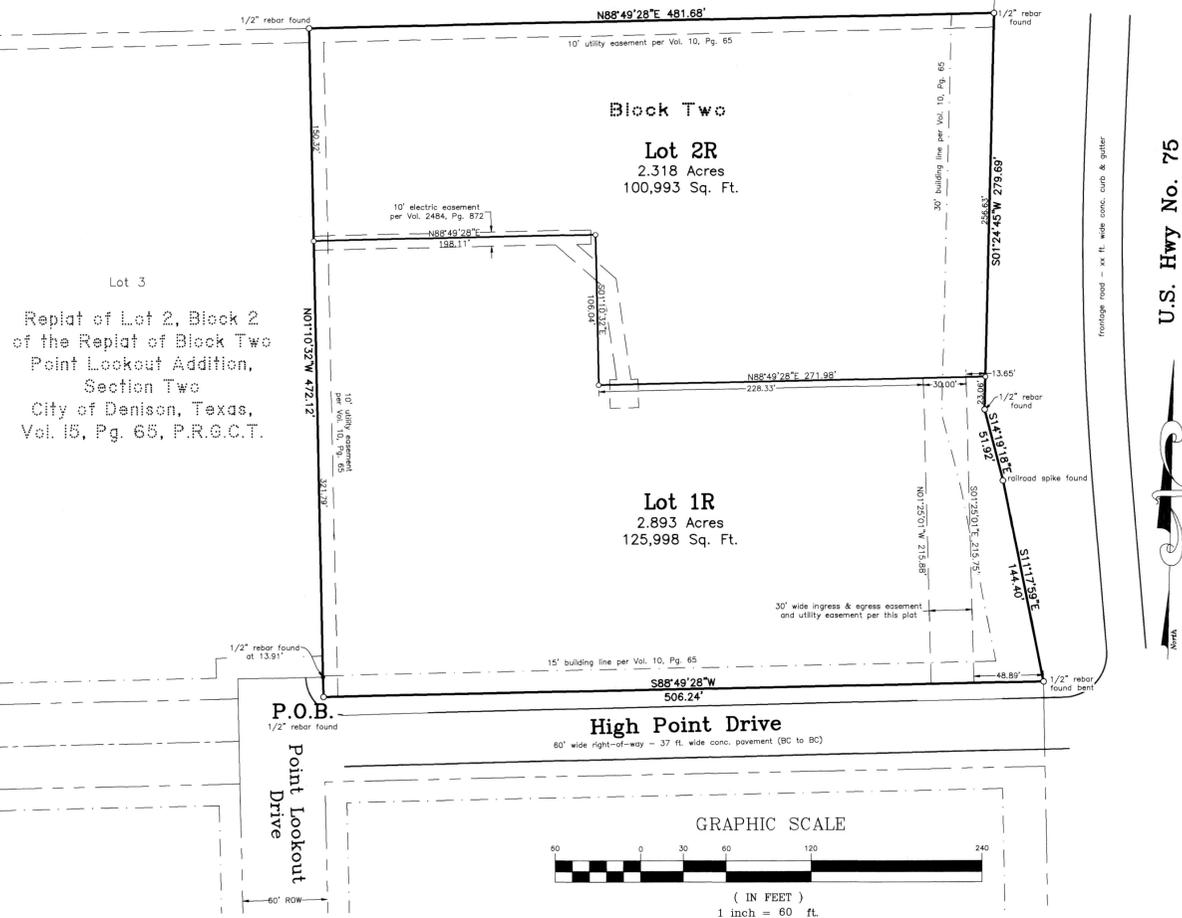
Chhater Pati Jain & Veena Jain revocable living trust.

801N US HWY 75 N Denison, TX 75020

M.A. Daugherty Survey
Abstract No. 1408
Grayson County, Texas

Bearing Base: Grid North, NAD83 Texas State Plane
Coordinate System, North Central Zone, as derived
by survey-grade Global Positioning System.

Powerhouse Equity Partners LLC
23.041 Acres
(Tract 5)
Inst. No. 2021-23797
O.P.R.C.C.T.



Replat
Lots 1R and 2R, Block Two
**Point Lookout Addition,
Section Three**
(being a Replat of Lot 1, Block Two of
the Replat of Block Two,
Point Lookout Addition, Section Two)

to the
City of Denison, Texas
5.211 Acres
226,911 Sq. Ft.

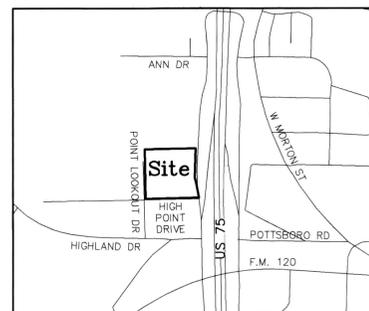
in the
M.A. Daugherty Survey
Abstract No. 1408

Date of Preparation: January 24, 2022

Filed for Record
in the Official Records Of:
Grayson County Clerk
On: 4/1/2022 9:17:40 AM
in the PLAT RECORDS
POINT LOOKOUT ADDN
Doc Number: 2022-62
Number of Pages: 2
Amount: 75.00
Order#: 20220401000032
By: MM



Vicinity Map
(not to scale)



General Notes:

1. Water Supply to be provided by City of Denison.
2. Sewer service to be provided by City of Denison.
3. Electrical service is provided by Oncor Electric Delivery Co.
4. Blocking the flow of water or construction of improvements in drainage easements, and filling or obstruction of the floodway is prohibited.
5. Any existing creeks or drainage channels traversing along or across the addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots.
6. The City of Denison will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion.
7. A portion of the property shown on the plat hereon lies within a Zone "A" 100-Year Flood Hazard Area Designation, as scaled from the Flood Insurance Rate Map for Grayson County, Texas and Incorporated Areas, Map No. 48181C0165 F, Revised Date: September 29, 2010.
8. Neither the City of Denison nor the undersigned surveyor will be responsible for any damage, personal injury, or loss of life or property occasioned by flooding or flooding conditions.
9. The owners and builders must comply with all other state and federal regulations regarding developments of this type.
10. City of Denison Case No. 2022-012.
11. Current zoning of subject property is Local Retail.

Job No. CGD480122

Helvey-Wagner Surveying, Inc.
222 W. Main St., Denison, Texas 75020
Phone (903) 463-6191
Email: kate@helveywagnersurveying.net
TBPELS Firm Registration No. 10088100

Owner:

Chhater Pati and Veena Jain
Revocable Living Trust
801 N US Hwy 75
Denison, Texas 75020

FIELD NOTES

SITUATED in the City of Denison, County of Grayson, State of Texas, and being a part of the M.A. Daugherty Survey, Abstract No. 1408, and being all of Lot 1, Block Two, Replat of Block Two, Point Outlook Addition, Section Two to the City of Denison, Texas, as per plat of record in Volume 10, Page 65, Plat Records, Grayson County, Texas, and being more particularly described by metes and bounds as follows, to-wit:

BEGINNING at a 1/2 inch rebar found at the intersection of the East right-of-way of Point Lookout Drive with the North right-of-way line of High Point Drive, at the Southwest corner of said Lot 1;

THENCE North 01 deg. 10 min. 32 sec. West, with the West line of said Lot 1, passing a 1/2 inch rebar found at 13.91 ft. at the most Eastern Southeast corner of Lot 3, Replat of Lot 2, Block 2 of the Replat of Block Two, Point Outlook Addition, Section Two to the City of Denison, Texas as per plat of record in Volume 15, Page 65, said Plat Records and continuing on with the East line of said Lot 3 for a TOTAL distance of 472.12 ft. to a 1/2 inch rebar found for the Northwest corner of said Lot 1 and the Northeast corner of said Lot 3, in the South line of a called 23.041 acre tract of land (Tract Five) conveyed to Powerhouse Equity Partners LLC as recorded in Instrument No. 2021-23797, said Official Public Records;

THENCE North 88 deg. 49 min. 28 sec. East, with the North line of said Lot 1 and the South line of said Powerhouse Equity Partners 23.041 ac., a distance of 481.68 ft., to a 1/2 inch rebar found for the Northeast corner of said Lot 1 and the Southeast corner of said Powerhouse Equity Partners 23.041 ac., in the West Right-of-Way line of U.S. Highway No. 75;

THENCE Southerly, with the East line of said Lot 1, the West line of said U.S. Highway No. 75, the following calls and distances:

1. South 01 deg. 24 min. 45 sec. West, a distance of 279.69 ft. to a 1/2 inch rebar found for an angle break;

2. South 14 deg. 19 min. 18 sec. East, a distance of 51.92 ft. to a railroad spike found for an angle break of the herein described tract;

South 11 deg. 17 min. 59 sec. East, a distance of 144.40 ft. to a 1/2 inch rebar found bent for the Southeast corner of said Lot 1, at the intersection of the West line of said U.S. Highway No. 75 with the North line of said High Point Drive;

THENCE South 88 deg. 49 min. 28 sec. West, with the North Right-of-Way line of said High Point Drive and the South line of said Lot 1, a distance of 506.24 ft. to the **PLACE OF BEGINNING** and containing **5.211 ACRES** and/or **226,991 SQUARE FEET** of land.

I, Kate A. Wagner, Registered Professional Land Surveyor, do hereby certify that a survey was made on the ground of the property shown hereon under my personal and direct supervision, and that the corner monumentation meets the standards set according to the Subdivision Regulations of the City of Denison, Texas.

Kate A. Wagner
Kate A. Wagner, R. P. L. S. No. 6578
Date: 3/14/2022



**STATE OF TEXAS
COUNTY OF GRAYSON**

I, the undersigned Owner of the land shown hereon, and legally described herein above, and designated herein as the Point Lookout Addition, Section Three to the City of Denison, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the Point Lookout Addition to the City of Denison, Texas have been notified and signed this plat.

I further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

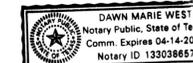
Chhater Pati
Chhater Pati, Authorized Representative for
Chhater Pati and Veena Jain Revocable Living Trust

Veena Jain
Veena Jain, Authorized Representative for
Chhater Pati and Veena Jain Revocable Living Trust

Before me the undersigned, a notary public in and for said County and State, on this day personally appeared Chhater Pati, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this 16th day of March, 2022.

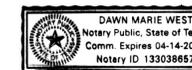
Dawn Marie West
Notary Public, Grayson County, Texas



Before me the undersigned, a notary public in and for said County and State, on this day personally appeared Veena Jain, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this 16th day of March, 2022.

Dawn Marie West
Notary Public, Grayson County, Texas



Approved this 30th day of March, 2022, by the Planning & Zoning Commission of the City of Denison, Texas.

Michelle
Chairman, Planning & Zoning Commission

Replat
Lots 1R and 2R, Block Two
**Point Lookout Addition,
Section Three**
(being a Replat of Lot 1, Block Two of the Replat of
Block Two,
Point Lookout Addition, Section Two)

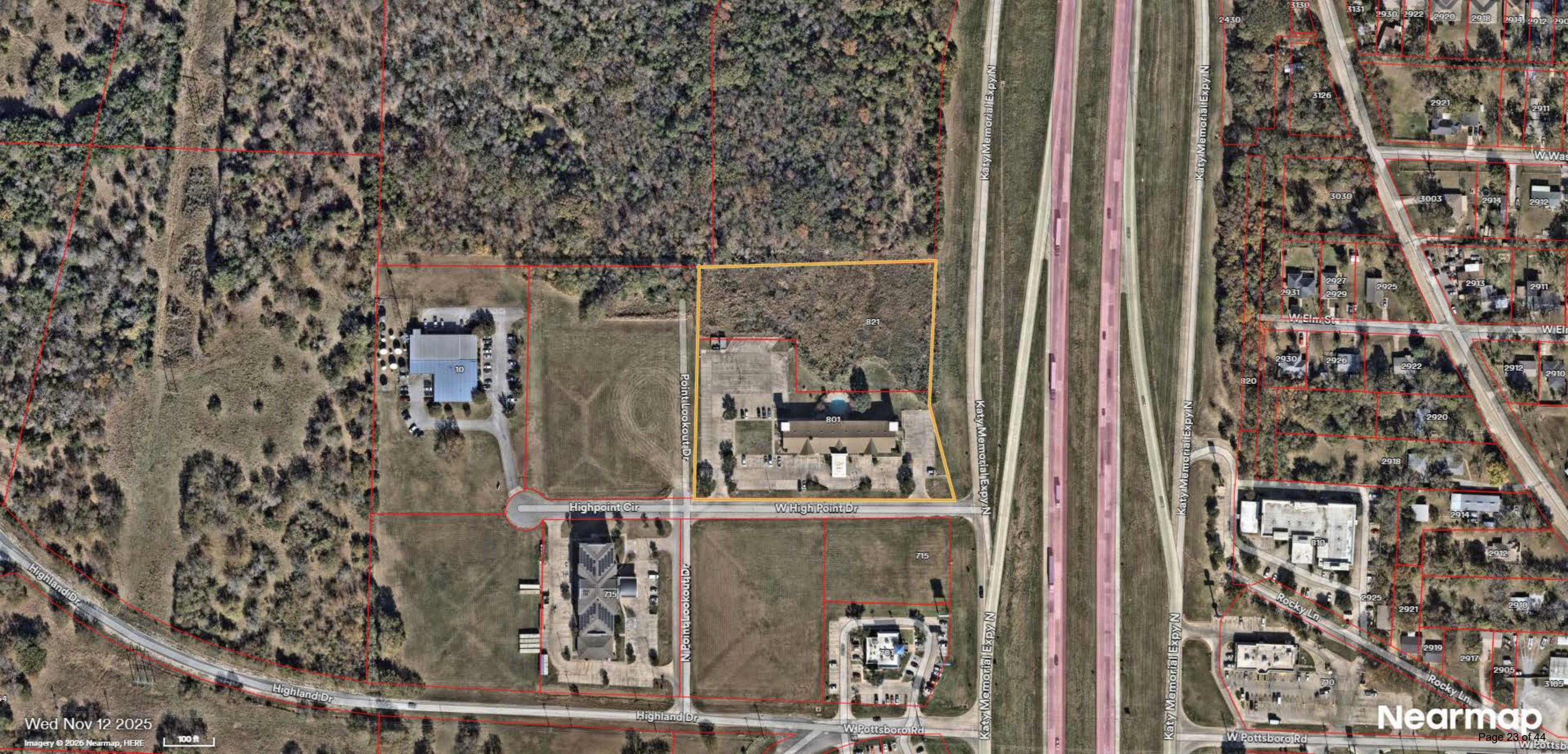
to the
City of Denison, Texas
1.851 Acres

in the
M.A. Daugherty Survey
Abstract No. 1408

Date of Preparation: January 24, 2022

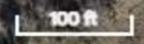
Filed for Record
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On: 4/1/2022 9:17:40 AM
in the PLAT RECORDS
POINT LOOKOUT ADDN
Doc Number: 2022-62
Number of Pages: 2
Amount: 75.00
Order#: 20220401000032
By: MM





Wed Nov 12 2025

Imagery © 2026 Nearmap, HERE



Nearmap

Planning and Zoning Commission
Staff Report
February 10, 2026



Agenda Item: Receive a report, hold a discussion, conduct a public hearing, and take action on a Replat for the Webster Estate creating Lots 1R & 2R, Block 32, an addition to the City of Denison, being a Replat of Part of Block No. 32, of the Land Grant Railway & Trust Co. Land Addition. (Case No. 2025-13RP).

Staff Contact:

Dianne York, Planning Manager
dyork@denisontx.gov
903-465-2720

Summary

- The purpose of the Replat is to create two (2) legal lots of record.
- The subject property is zoned SF-5, Single Family Residential.

Staff Recommendation

Staff recommends approval of the Replat as submitted.

Recommended Motion

"I move to approve the proposed Replat."

Background Information and Analysis

The applicant is seeking approval of the proposed Replat in order to create a subdivision of two (2) lots. The applicant wishes to subdivide an existing single-family dwelling from the remaining land. The single-family dwelling will exist on the proposed Lot 2R and Lot 1R will remain undeveloped. Lot 2R has frontage on E. Main Street and is utilizing city utilities. Lot 1R has frontage on E. Main Street and the potential to access other city rights-of-way on the west side of the property at the time of development. Prior to development of Lot 1R, the developer will need to pursue a Pre-Development Meeting. This meeting will provide the developer with requirements, standards, necessary applications, and ordinances to be mindful of as they pursue a development.

Financial Considerations

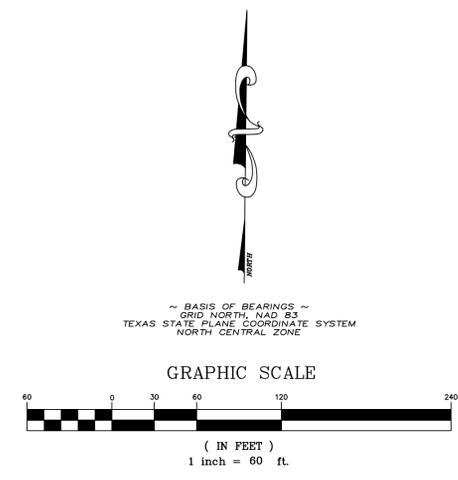
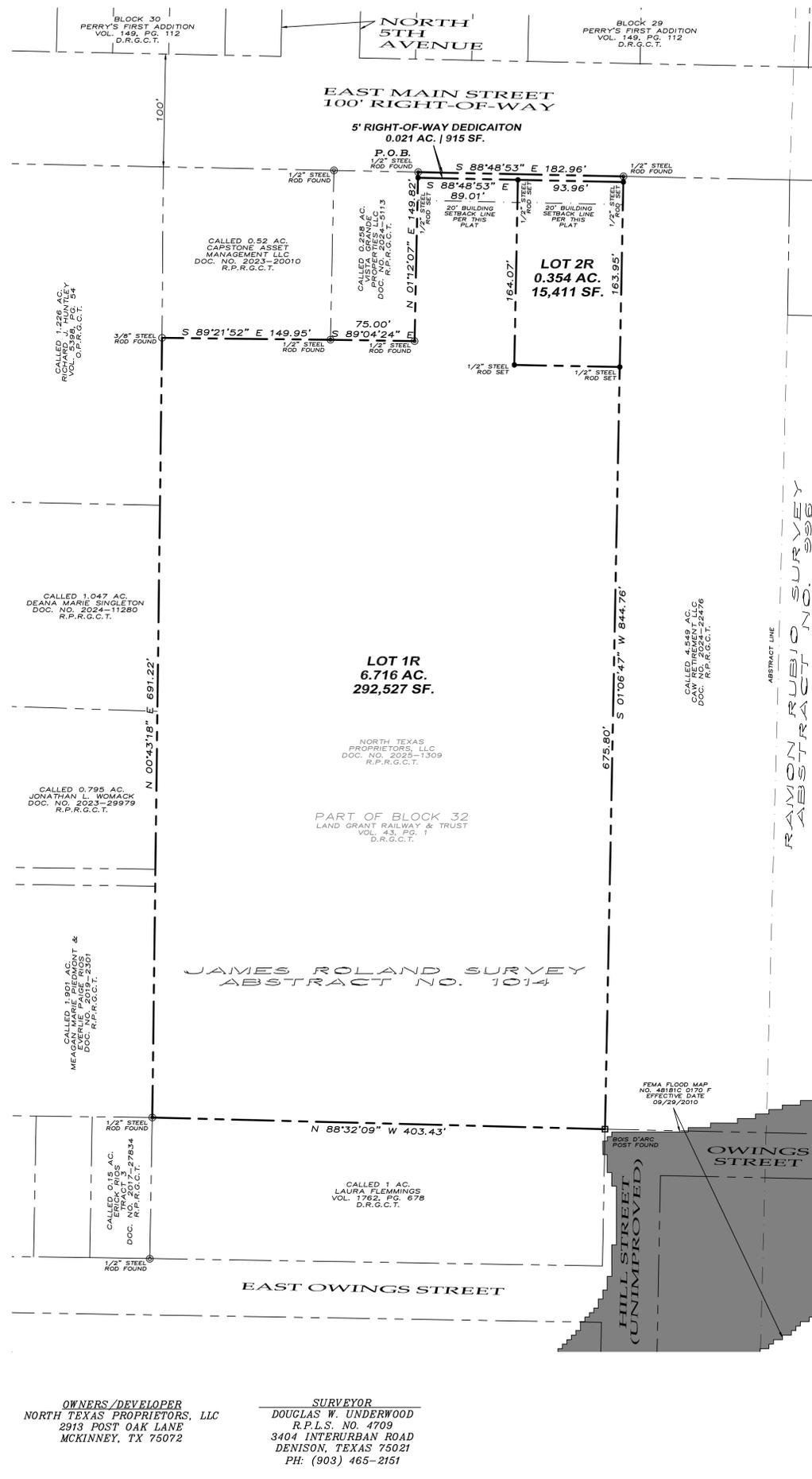
- N/A

Prior Board or Council Action

- N/A

Alternatives

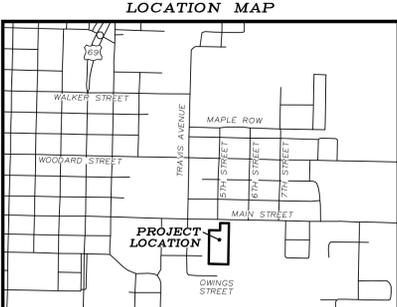
- The Planning and Zoning Commission may deny or conditionally approve the request.



- ~ GENERAL NOTES ~
- Water Supply to be provided by the City of Denison.
 - Sewer service to be provided by the City of Denison.
 - Electrical service is provided by Oncor Electric.
 - Blocking the flow of water or construction of improvements in drainage easements, and filling or obstruction of the floodway is prohibited.
 - Any existing creeks or drainage channels traversing along or across the addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots.
 - The City of Denison will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion.
 - Neither the City of Denison nor the undersigned surveyor will be responsible for any damage, personal injury, or loss of life or property occasioned by flooding or flooding conditions.
 - The owners and builders must comply with all other local, state and federal regulations regarding developments of this type.
 - Bearings are based on the Texas State Plane Coordinate System (NAD-83) Texas North Central Zone (4202) Grid.
 - The City of Denison reserves the right to require submission of Development Plat based on proposed use of each lot.
 - The subject property does not lie within a Federal Emergency Management Agency (FEMA) designated flood plain as shown by FIRM Map No. 48181C 0170 F, Dated September 29, 2010.
 - Property owner will be responsible for maintaining private water, sewer and storm lines. Property owner will also be responsible for maintenance of stormwater detention facilities.
 - Case File No. 2025-13RP.
 - Current Zoning: Single Family 5 (5,000 sf lot)
 - Proposed Lot 1R cannot be developed or subdivided further without a Pre-Development Meeting. A Preliminary Plat is required for the development of this lot as streets and other infrastructure will need to be constructed. No development will occur on Lot 1R.

LEGEND

●	P.O.B. POINT OF BEGINNING
○	1/2" STEEL ROD SET
○	1/2" STEEL ROD FOUND
○	3/8" STEEL ROD FOUND
□	BOIS D'ARC POST FOUND
□	BOIS D'ARC PUBLIC RECORDS
□	P.R.P.R.G.C.T. REAL PROPERTY RECORDS, GRAYSON COUNTY, TEXAS
□	D.R.G.C.T. DEED RECORDS, GRAYSON COUNTY, TEXAS
---	BOUNDARY LINE
---	PROPERTY LINE
---	EASEMENT LINE
---	BUILDING LINE



(NOT TO SCALE)
UNDERWOOD
DRAFTING & SURVEYING

3404 INTERURBAN ROAD DENISON, TEXAS 75021 (903)465-2151

LEGAL DESCRIPTION

Situated in the County of Grayson, State of Texas, being a part of James Roland Survey, Abstract No. 1014, and being part of Block 32 of Land Grant Railway & Trust, according to the plat thereof recorded in Volume 43, Page 1, Deed Records, Grayson County, Texas, and being the remainder of tract of land described in the deed to North Texas Proprietors, LLC, recorded in Document No. 2025-1309, Real Property Records, Grayson County, Texas, and being described by metes and bounds as follows:

Beginning at a found 1/2" steel rod for the northern-most northwest corner of the herein described tract of land, common to the northeast corner of a called 0.258 acre tract of land described in the deed to Vista Grande Properties LLC, recorded in Document No. 2024-5113, said Real Property Records, and on the northerly line of said North Texas Proprietors Tract, and on the southerly right-of-way line of East Main Street;

Thence South 88°48'53" East, with the northerly line of said North Texas Proprietors Tract, and with the southerly right-of-way line of said East Main Street, a distance of 182.96 feet to a found 1/2" steel rod for the northeast corner of said North Texas Proprietors Tract, common to the northwest corner of a called 4.549 acre tract of land described in the deed to Caw Retirement LLC, recorded in Document No. 2024-22476, said Real Property Records;

Thence South 01°06'47" West, with the easterly line of said North Texas Proprietors Tract, and with the westerly line of said 4.549 acre tract, a distance of 844.76 feet to a found Bois D'Arc for the southeast corner of said North Texas Proprietors Tract, common to the southwest corner of a called 1 acre tract, and common to the northeast corner of a called 1 acre tract of land described in the deed to Laura Flemmings, recorded in Volume 1762, Page 678, said Deed Records;

Thence North 88°32'09" West, with the southerly line of said North Texas Proprietors Tract, and with the northerly line of said 1 acre tract, a distance of 403.43 feet to a found 1/2" steel rod for the southwest corner of said North Texas Proprietors Tract, common to the northwest corner of said 1 acre tract, common to the northeast corner of a called 0.15 acre tract of land described in the deed to Erick Rios, recorded in Document No. 2017-27834, said Real Property Records, and common to the southeast corner of a called 1.901 acre tract of land described in the deed to Meagan Marie Piedmont and Everlee Paige Rios, recorded in Document No. 2019-2301, said Real Property Records;

Thence North 00°43'18" East, with the westerly line of said North Texas Proprietors Tract, and with the easterly line of said 1.901 acre tract, and with the easterly line of a called 0.795 acre tract of land described in the deed to Jonathan L. Warnock, recorded in Document No. 2023-29979, said Real Property Records, and with the easterly line of a called 1.047 acre tract of land described in the deed to Deana Marie Singleton, recorded in Document No. 2024-11280, said Real Property Records, and with the easterly line of a called 1.226 acre tract of land described in the deed to Richard J. Huntley, recorded in Volume 5398, Page 54, Official Public Records, Grayson County, Texas, a distance of 691.22 feet to a found 3/8" steel rod for the southwest corner of a called 0.52 acre tract of land described in the deed to Capstone Asset Management LLC, recorded in Document No. 2023-20010, said Real Property Records;

Thence South 89°21'52" East, crossing said North Texas Proprietors Tract, with the southerly line of said 0.52 acre tract, a distance of 149.95 feet to a found 1/2" steel rod for the southeast corner of said 0.52 acre tract, common to the southwest corner of aforesaid 0.258 acre tract;

Thence South 89°04'24" East, continuing across said North Texas Proprietors Tract, with the southerly line of said 0.258 acre tract, a distance of 75.00 feet to a found 1/2" steel rod for the southeast corner of said 0.258 acre tract;

Thence North 01°12'07" East, continuing across said North Texas Proprietors Tract, with the easterly line of said 0.258 acre tract, a distance of 149.82 feet to the Point of Beginning and containing 7.090 acres of land, more or less.

All 1/2" steel rods set with a plastic yellow cap stamped "RPLS 4709"

OWNERS DEDICATION

STATE OF TEXAS
COUNTY OF GRAYSON

I, NORTH TEXAS PROPRIETORS LLC, Owner and Developer of WEBSTER ESTATE, an addition to the City of Denison, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the WEBSTER ESTATE have been notified and signed this plat.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

WITNESS MY HAND this _____ day of _____, 2026.

ANJANETTE WEBSTER
NORTH TEXAS PROPRIETORS LLC

STATE OF TEXAS
COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared ANJANETTE WEBSTER, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2026.

Notary Public in and for
the State of Texas

CITY ACCEPTANCE

I hereby certify that the above and foregoing plat of WEBSTER ESTATE was approved by the Planning and Zoning Commission of the City of Denison this _____ day of _____, 2026.

Planning and Zoning Commission Chair
City of Denison

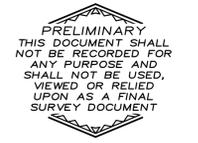
SURVEYOR'S CERTIFICATION

KNOWN ALL MEN BY THESE PRESENTS:

That I, Douglas W. Underwood, Registered Professional Land Surveyor, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments thereon where properly placed, under my personal supervision, in accordance with the subdivision regulations of the City of Denison, Texas.

Douglas W. Underwood
Registered Professional
Land Surveyor, No. 4709

Date _____



**REPLAT
WEBSTER ESTATE**

CREATING LOTS 1R & 2R, BLOCK 32
AN ADDITION TO THE CITY OF DENISON, GRAYSON COUNTY, TEXAS
BEING A REPLAT OF PART OF BLOCK NO. 32, OF THE LAND GRANT RAILWAY & TRUST CO. LAND ADDITION
VOL. 43, PG. 1, D.R.G.C.T.
BEING 7.090 ACRES IN THE
JAMES ROLAND SURVEY
ABSTRACT NO. 1014

12-03-2025

OWNERS/DEVELOPER
NORTH TEXAS PROPRIETORS, LLC
2913 POST OAK LANE
MCKINNEY, TX 75072

SURVEYOR
DOUGLAS W. UNDERWOOD
R.P.L.S. NO. 4709
3404 INTERURBAN ROAD
DENISON, TEXAS 75021
PH: (903) 465-2151



Planning and Zoning Commission
Staff Report
February 10, 2026



Agenda Item: Receive a report, hold a discussion, conduct a public hearing, and make a recommendation on a request for a Conditional Use Permit (CUP) for a tract of land legally described as being a part of the Laynes Addition, Block 21, Lot 5, as per Plat of Record in Volume 25, Page 59 per Deed Records, Grayson County, Texas, and being an approximately 0.1722 – acre tract of land; being commonly known as 816 W. Shepherd Street, GCAD Property ID No. 145236 to allow for an Accessory Dwelling Unit (ADU) within the 2F- Two-Family (duplex) Residential District. (Case No. 2025-17CUP)

Staff Contact:

Dianne York, Planning Manager
dyork@denisontx.gov
903-465-2720

Summary

- The applicant is requesting a Conditional Use Permit (CUP) to allow for an Accessory Dwelling Unit (ADU) for an existing structure located at 816 W. Shepherd Street.
- The property is zoned Two-Family (2F) Duplex Residential.
- Per Section 28.49 – Use Regulation Chart, an ADU is allowed within this zoning district with an approved CUP.

Staff Recommendation

Staff recommends approval of the Conditional Use Permit.

Recommended Motion

"I move to recommend approval of a Conditional Use Permit to allow for an Accessory Dwelling Unit (ADU) within the Two-Family (2F) Duplex Residential District for property located at 816 W. Shepherd Street."

Background Information and Analysis

The applicant, ASJ Homes, is seeking approval for a Conditional Use Permit (CUP) to allow for an Accessory Dwelling Unit (ADU) within the Two-Family (2F) Duplex Residential District for

property located at 816 W. Shepherd Street. Per [Section 28.49 – Use Regulation Chart](#), an Accessory Dwelling Unit (ADU) is allowed within the 2F zoning district with an approved Conditional Use Permit (CUP).

816 W. Shepherd Street consists of a main dwelling unit and an existing accessory structure. The applicant wishes to remodel the existing accessory structure into an ADU. Per the Project Narrative, the remodel of the accessory structure will not increase the footprint, height or overall building mass. The current structure is non-conforming due to its proximity to the property line on the east side of the property and the height of the structure. Per [Section 28.29.3.2](#), accessory structures located within the Two-Family (2F) Duplex Residential District shall not exceed eighteen (18) feet in height. The current height of the accessory structure is approximately twenty-five (25) feet with the main dwelling having a height of approximately eighteen (18) feet. Provided that the accessory structure is an existing building, staff is supportive of the conversion to an Accessory Dwelling Unit (ADU) despite the height difference between the main dwelling unit and the accessory structure. Additionally, the current structure is located four (4) feet from the side yard property line on the east side of the property. While [Section 28.52.4. A.2.](#) allows for a three (3) foot side yard setback for accessory structures, the conversion to a dwelling unit requires a minimum separation of ten (10) feet between structures. A minimum of five (5) feet for the proposed dwelling unit is required. As this is an existing structure, the applicant must install a fire wall during the remodel process in order to move forward with converting the structure to a dwelling unit.

The applicant is proposing to provide access to the Accessory Dwelling Unit (ADU) via an existing driveway. All parking for the ADU will be located at the rear of the property. The applicant will ensure that both units have separate utilities and understands this conversion is subject to applicable impact fees and water/sewer utility fees.

Due to the rising cost of housing, Accessory Dwelling Units (ADUs) have become an increasingly popular option for generating supplemental income and providing more affordable housing opportunities. While the 800 block of W. Shepherd Street has developed primarily with single-family homes, its proximity to downtown supports the modest increase in density allowed through ADUs.

Per the Future Land Use Plan, the subject area appears to be designated as Mixed Commercial with a Revitalization Area Overlay. This designation is likely due to the proximity to Armstrong Avenue. However, properties that do not have frontage on Armstrong Avenue have been developed in a residential manner in this area. Given this, staff is supportive of the request.

City staff has reviewed each Conditional Use Permit Criteria outlined within the City Ordinance, before reaching its recommendation for approval.

Conditional Use Permit Criteria for Approval:

- 1. The proposed use at the specified location is consistent with the policies embodied in the adopted comprehensive plan;*

The subject property has been provided the designation of Mixed Commercial with a Revitalization Area Overlay per the Future Land Use Plan. However, the properties that do not front on Armstrong Avenue have been developed in a residential manner. Staff is supportive of the request for this reason.

2. The proposed use is consistent with the general purpose and intent of the applicable zoning district regulations;

The Two-Family (2F) Duplex Residential Zoning District allows the use of an Accessory Dwelling Unit with an approved Conditional Use Permit. The allowance for this use complies with the base zoning district.

3. The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhood and includes improvements either on site or within the public rights-of-way to mitigate development-related adverse impacts, such as traffic, noise, odors, visual nuisances, drainage or other similar adverse effects to adjacent development and neighborhoods;

Although the property is zoned Two-Family (2F) Duplex Residential, there do not appear to be any duplexes or approved ADUs within the 800 block of W. Shepherd Street.

4. The proposed use does not generate pedestrian and vehicular traffic which will be hazardous or conflict with the existing and anticipated traffic in the neighborhood.

N/A

5. The proposed use incorporates roadway adjustments, traffic control devices or mechanisms, and access restrictions to control traffic flow or divert traffic as may be needed to reduce or eliminate development generated traffic on neighborhood streets;

The applicant will provide parking for the ADU at the rear of the property. The applicant is proposing that the residents access the parking via the existing driveway.

6. The proposed use incorporates features to minimize adverse effects, including visual impacts, of the proposed conditional use on adjacent properties; and

N/A

7. The proposed use meets the standards for the zoning district, or to the extent variations from such standards have been requested, that such variations are necessary to render the use compatible with adjoining development and the neighborhood.

No variance is applied or needed.

Financial Considerations

- N/A

Prior Board or Council Action

- N/A

Alternatives

- The Planning and Zoning Commission may recommend approval, approval with conditions, denial or table the request.

REVISED PROJECT NARRATIVE

Conditional Use Permit – Accessory Dwelling Unit
816 W. Shepherd Street, Denison, Texas

Proposed Use

I am requesting approval of a Conditional Use Permit (CUP) to allow an Accessory Dwelling Unit (ADU) in accordance with Section 28.29 and the Use Regulation Chart in Section 28.49 of the City of Denison Zoning Ordinance. The proposed ADU is located within an existing accessory structure on the property. No expansion of the building footprint or height is proposed.

Existing Conditions

The property is currently developed with a single-family residence and an existing detached accessory structure. The accessory structure has been in place for some time and is not new construction. The scope of work consists primarily of remodeling the existing structure, with no increase to its current footprint, height, or overall building mass.

Building Height

The existing main dwelling has an approximate overall height of 17–18 feet, measured from finished grade to the roof ridge. The existing accessory structure, proposed for use as an ADU, has an approximate overall height of 25 feet 5 inches, measured from finished grade to the roof ridge. No changes to the height of either structure are proposed as part of this project.

Separation Distance Between Structures

The approximate distance between the main dwelling and the accessory structure is 20 feet.

Setbacks and Fire Protection

The existing accessory structure has a 4-foot side yard setback, as shown on the site plan. This is an existing condition. To comply with applicable building and fire code requirements, a fire-rated wall assembly will be provided on the side of the structure where the reduced setback exists, as required by the City and the Fire Marshal's Office.

Access and Parking

Access to the ADU will be provided via the existing driveway serving the property. No new curb cuts are proposed. Parking will be accommodated on-site in accordance with City requirements.

Utilities

Each dwelling unit will be provided with separate water and sewer connections in accordance with Engineering Department requirements. I understand that the project is subject to applicable impact fees, which will be addressed at the appropriate stage of the permitting process.

Summary

This request seeks approval of a Conditional Use Permit to allow residential use of an existing accessory structure as an Accessory Dwelling Unit. The project does not propose any expansion of the existing buildings and will comply with all applicable zoning, building, engineering, and fire code requirements as conditioned by the CUP.

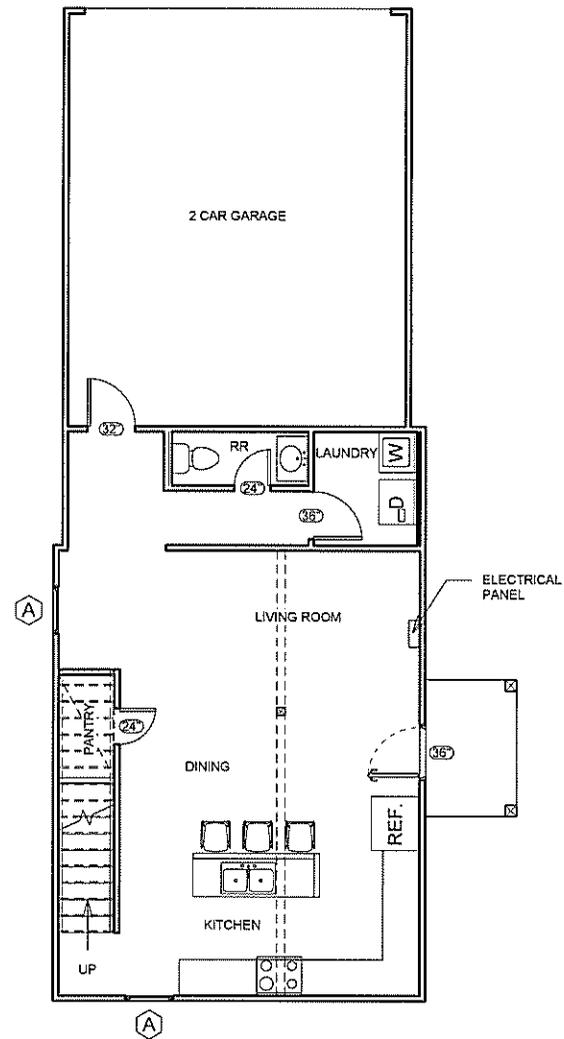
818 W SHEPHERD ST
 DENISON TX 75020

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERROR, OMISSIONS BEFORE FABRICATING ANY WORK DO NOT SCALE DRAWINGS

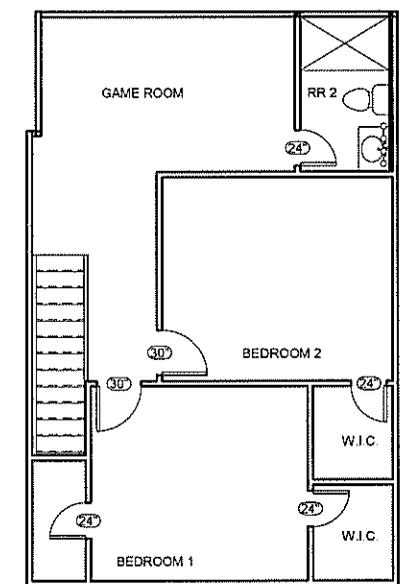
No.	Description	Date

FLOOR PLANS

Project number
Date
Drawn by EFREN ESTRADA
A1
Scale 1/8" = 1'-0"



① FIRST FLOOR PLAN
 1/8" = 1'-0" TRUE NORTH



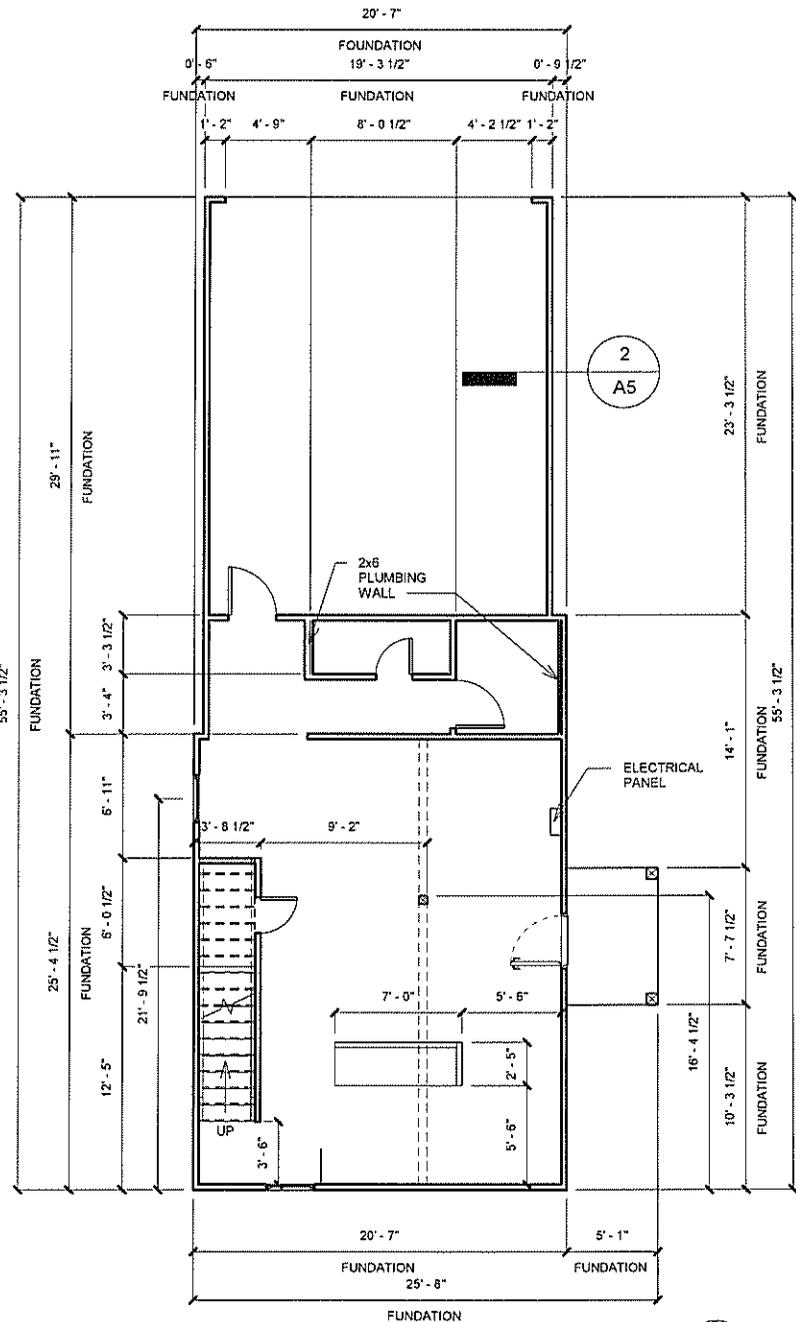
② SECOND FLOOR PLAN Copy 1
 1/8" = 1'-0" TRUE NORTH

WINDOW TYPES

<p>A 2' 8" x 4' SINGLE HUNG INSULATED LOW E GLASS CLEAR/ CLEAR U FACTOR = .45 SHGC = .28</p> <p>C 2'x2' FIXED INSULATED LOW E GLASS CLEAR/ CLEAR U FACTOR = .45 SHGC = .25</p>	<p>B 6'x2' 10" FIXED INSULATED LOW E GLASS CLEAR/ CLEAR U FACTOR = .45 SHGC = .25</p> <p>D 2'x3' FIXED INSULATED LOW E GLASS CLEAR/ CLEAR U FACTOR = .45 SHGC = .25</p>	<p>E 6'x3' FIXED INSULATED LOW E GLASS CLEAR/ CLEAR U FACTOR = .45 SHGC = .25</p>
--	---	--

DOOR SCHEDULE			
COUNT	FAMILY	DOOR SIZE	DESCRIPTION
2	SINGLE FLUSH	36"x84"	
1	SINGLE FLUSH	32"x84"	
2	SINGLE FLUSH	30"x84"	
6	SINGLE FLUSH	24"x84"	
0	GARAGE DOOR	192"x84"	

TOTAL AREA	
LIVING AREA	1275sf
FIRST FLOOR	655sf
SECOND FLOOR	620sf
PORCH	38sf
GARAGE	450sf
TOTAL FOUNDATION	1143sf



① CONSTRUCTION FLOOR PLAN
1/8" = 1'-0"

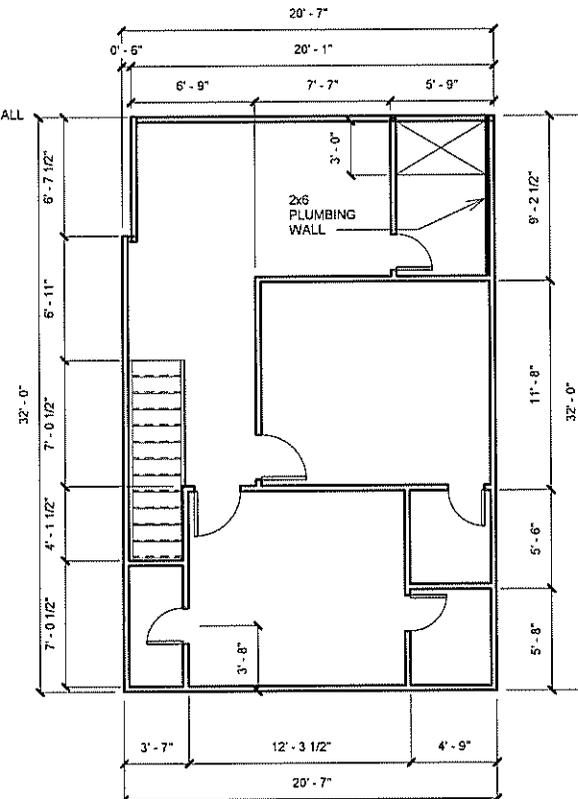


GENERAL NOTES

1. ALL INTERIOR WALL TO BE 2x4 WOOD STUDS UNLESS NOTED
2. ALL EXTERIOR WALL TO BE 2x4 WOOD STUDS
3. ALL BRICK LEDGES TO BE 5 1/2".
4. ALL ANGLES TO BE 45 D UNLESS NOTED OTHERWISE.
5. ALL SHOWER HEADS TO BE @ 5' - 10" A.F.F.
6. STANDARD DOOR JAMB TO BE 4". UNLESS NOTED OTHERWISE

NOTE TO FRAMER:

1. ALL DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
2. ALL FINISHED CEILINGS TO BE 9' - 4" SLOPED UNLESS NOTED OTHERWISE
3. ALL WINDOW ROUGH OPENING SIZES TO BE FRAMED SAME AS WINDOW CALL-OUT SIZE.
4. TUB BLOCKING 26" - 32" FROM WALL BOTTOM PLATE TO TOP PLATE.
5. VANITY LIGHT FIXTURE 2x4 BLOCKING TO BE IN ALL BATHS @ 86" A.F.F. (TO BOTTOM OF BLOCKS).
6. BLOCK BETWEEN STUDS @ ALL RAKES W/2x MATERIAL AT ROOF LINE



② SECOND FLOOR CONSTRUCTION PLAN
1/8" = 1'-0"



818 W SHEPHERD ST
DENISON TX 75020

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No.	Description	Date

CONSTRUCTION PLANS

Project number

Date

Drawn by EFREN ESTRADA

A3

Scale 1/8" = 1'-0"

818 W SHEPHERD ST
 DENISON TX 75020

CONTRACTOR SHALL VERIFY ALL
 CONDITIONS AND DIMENSIONS AT THE JOB
 SITE AND NOTIFY THE DESIGNER OF ANY
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 FABRICATING ANY WORK TO SCALE
 DRAWINGS

No.	Description	Date

ELEVATIONS

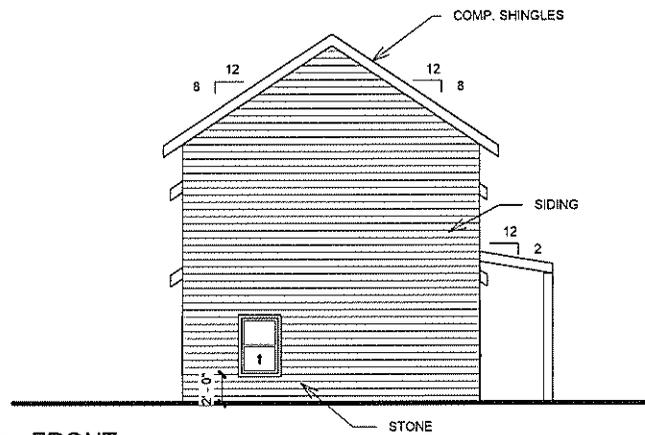
Project number

Date

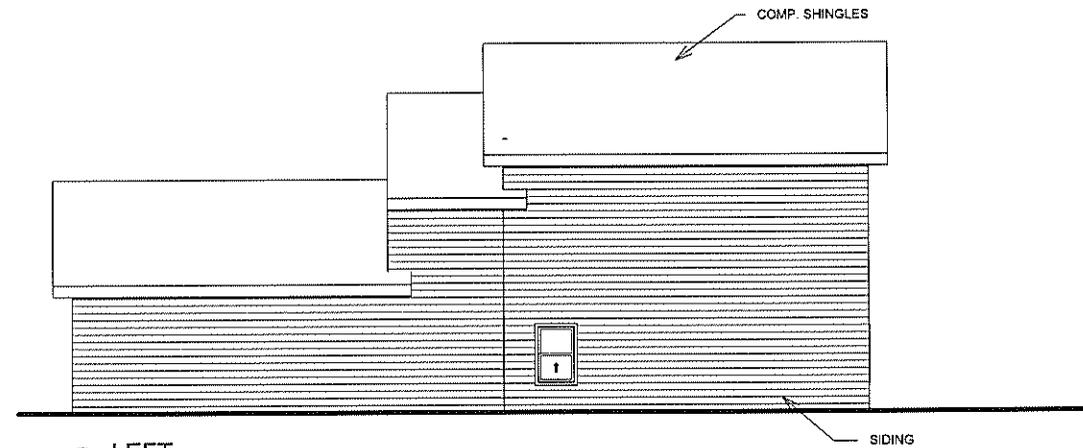
Drawn by EFREN ESTRADA

A4

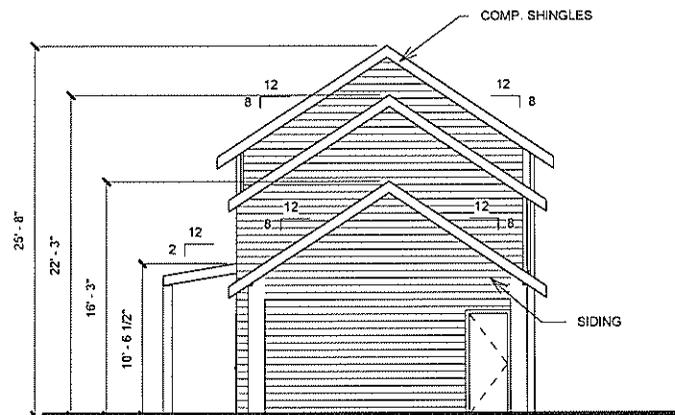
Scale 1" = 10'-0"



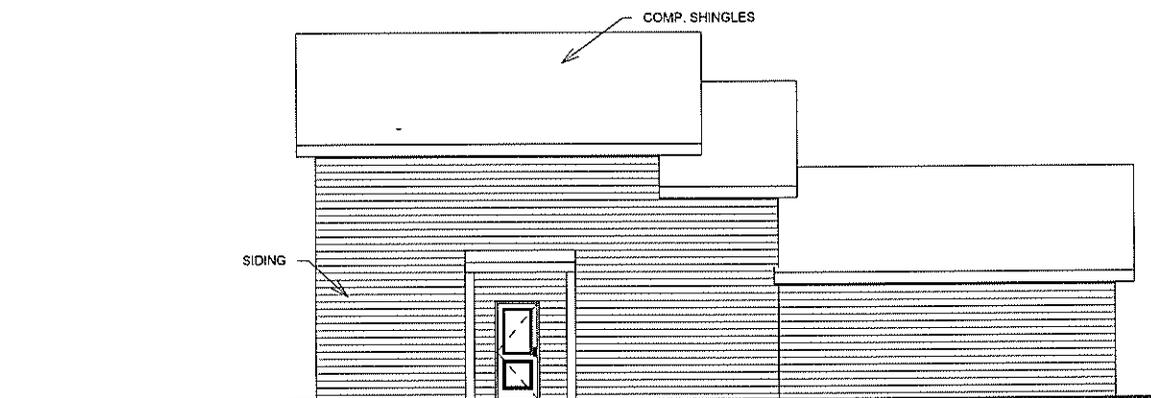
① FRONT
 1" = 10'-0"



③ LEFT
 1" = 10'-0"



② BACK
 1" = 10'-0"



④ RIGHT
 1" = 10'-0"

818 W SHEPHERD ST
 DENISON TX 75020

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No.	Description	Date

DETAILS

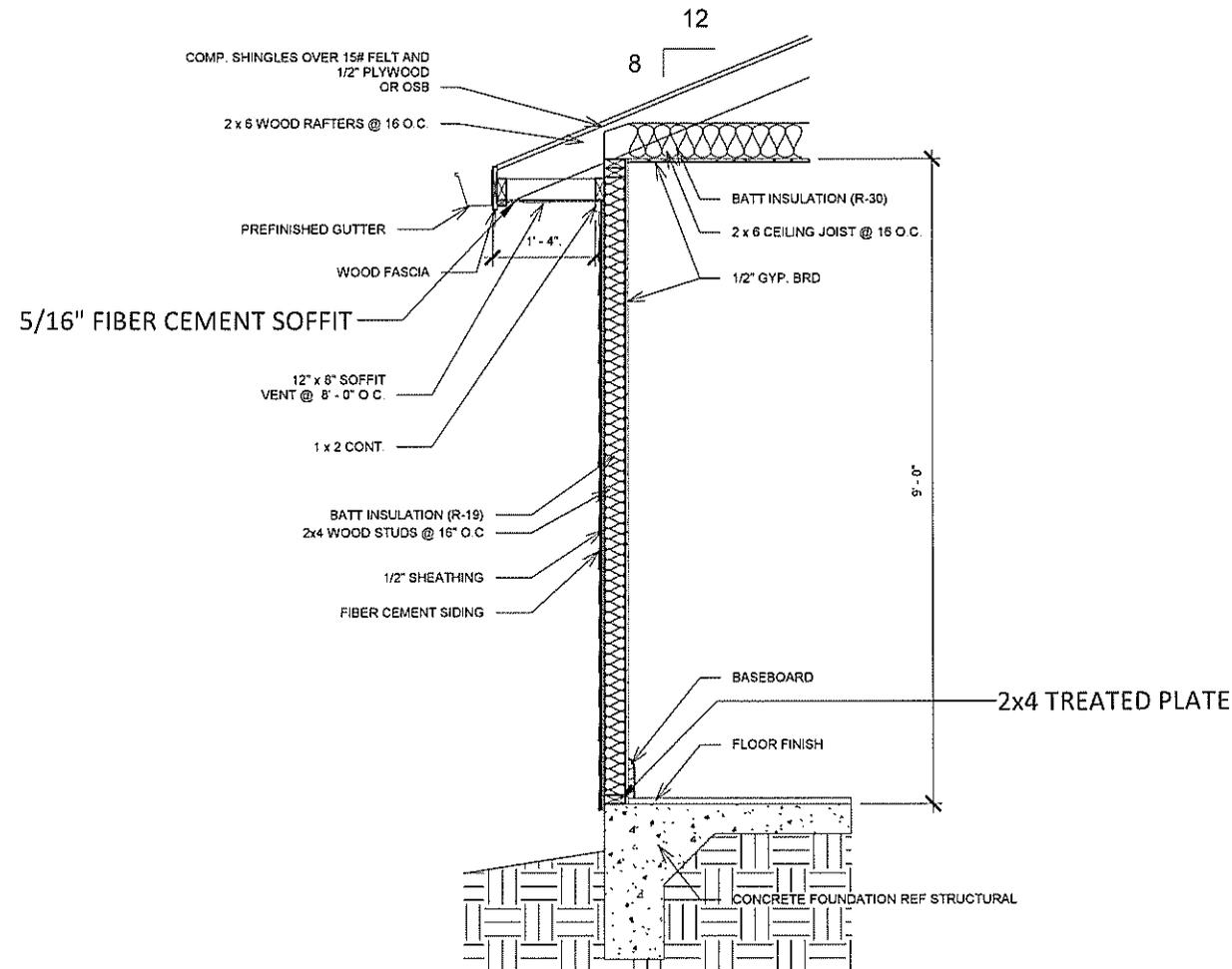
Project number

Date

Drawn by EFREN ESTRADA

A5

Scale 1/2" = 1'-0"



② WALL SECTION
 1/2" = 1'-0"

818 W SHEPHERD ST
DENISON TX 75020

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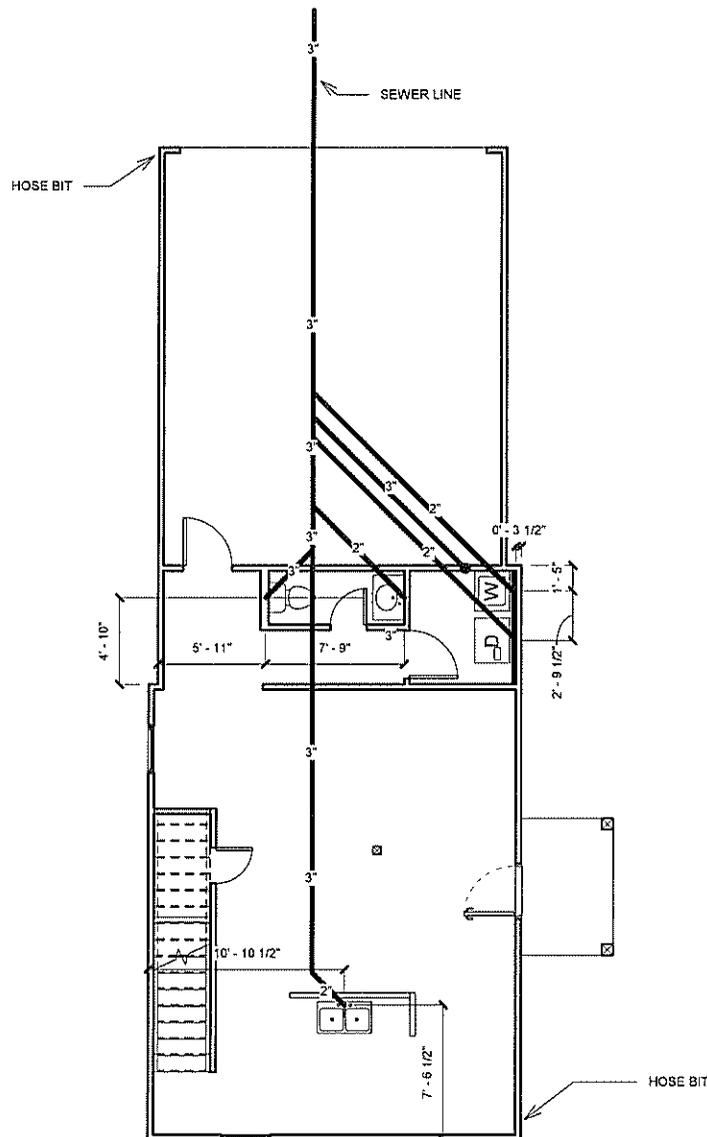
No.	Description	Date

PLUMBING PLAN

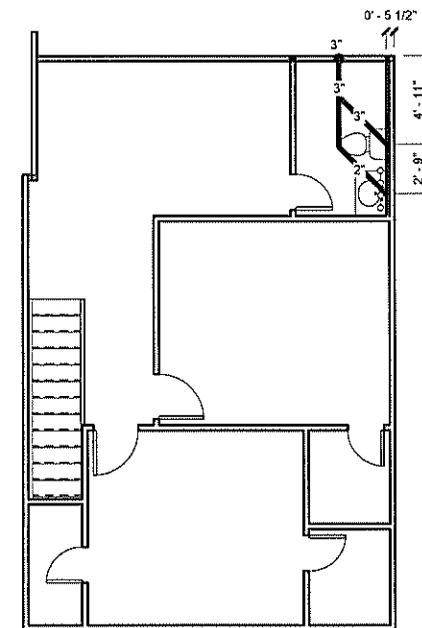
Project number
Date
Drawn by EFREN ESTRADA

A6

Scale 1/8" = 1'-0"



① PLUMBING PLAN
1/8" = 1'-0"



② SECOND FLOOR PLUMBING PLAN
1/8" = 1'-0"



818 W SHEPHERD ST
 DENISON TX 75020

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 CONDITIONS AND DIMENSIONS AT THE JOB
 SITE AND NOTIFY THE DESIGNER OF ANY
 DIMENSIONAL ERROR, OMISSIONS BEFORE
 FABRICATING ANY WORK DO NOT SCALE
 DRAWINGS

No.	Description	Date

SITE PLAN

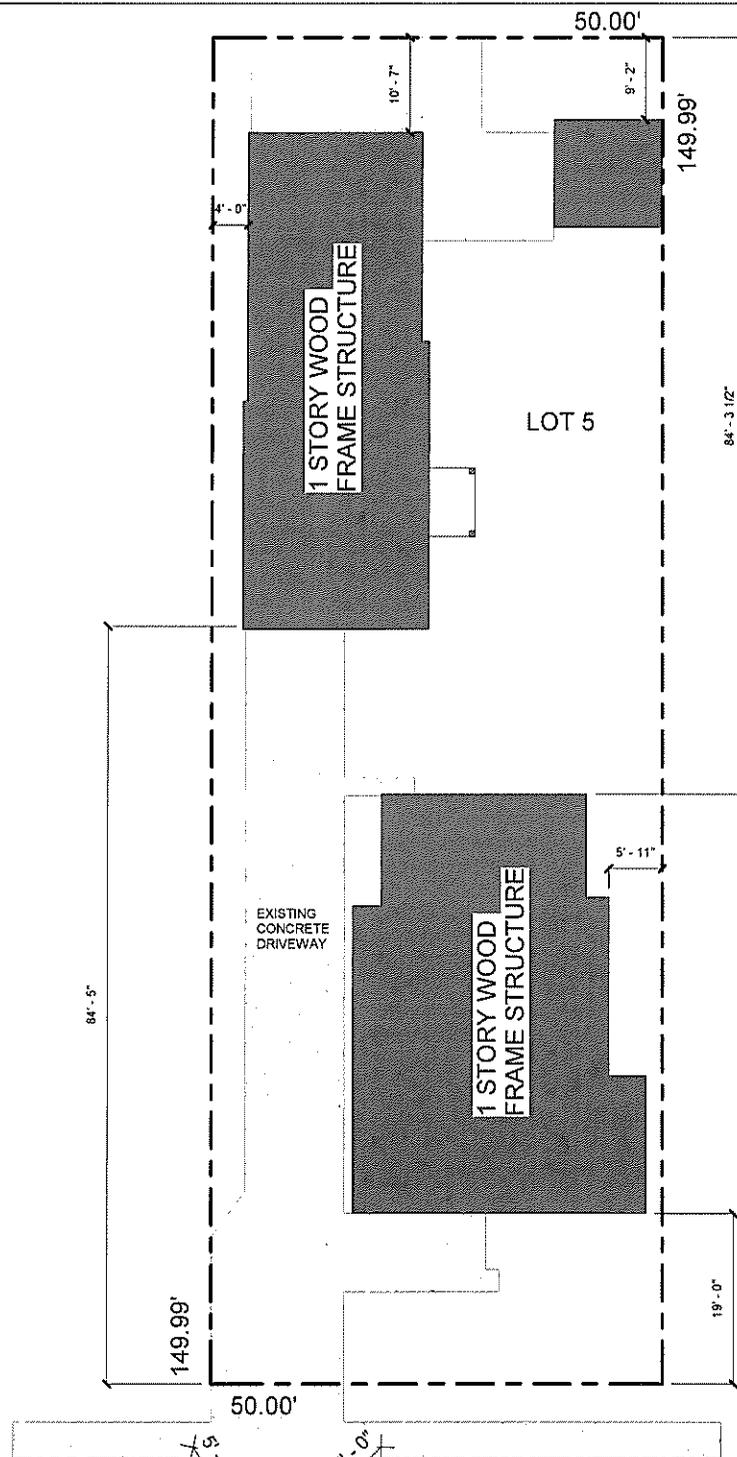
Project number

Date

Drawn by EFREN ESTRADA

A7

Scale 1/16" = 1'-0"



① SITE PLAN
 1/16" = 1'-0"

WESSST SHEPHERD STREET

818 W SHEPHERD ST
 DENISON TX 75020

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No.	Description	Date

CEILING FRAMING PLAN

Project number
 Date
 Drawn by EFREN ESTRADA

A9

Scale 1/8" = 1'-0"

NOTES

1. ALL CEILING JOISTS TO BE #2 SOUTHERN PINE.
2. ALL CEILING JOISTS MUST BE NAILED TO TOP PLATE W/3-8D COMMON NAILS.
3. ALL CEILING JOISTS MUST BE NAILED TO RAFTER W/9-16D COMMON NAILS.
4. JOISTS AND BEAM HANGERS, WHERE SPECIFIED, SHALL BE FULLY NAILED PER MANUFACTURER'S CATALOG SPECIFICATIONS.
5. DECKING FOR UNINHABITABLE ATTICS WITH LIMITED STORAGE SHALL BE MINIMUM 7/16" PLYWOOD OR OSB, WITH A SPAN RATING THAT MEETS OR EXCEEDS THE CEILING JOIST SPACING.
6. MULTIPLE-PLY BEAMS, WHERE SPECIFIED, SHALL HAVE EACH PLY NAILED TOGETHER WITH 2 ROWS OF 16D COMMONS @ 12" O.C. (3 ROWS OF NAILS REQUIRED FOR BEAMS EXCEEDING 12" MIN. DEPTH)
7. ALL MULTIPLE-PLY BEAM CALLOUTS ON PLANS SHALL BE #2 SOUTHERN PINE UNLESS NOTED OTHERWISE.

SPAN CHART FOR #2 SOUTHERN PINE

	CEILING JOISTS DEAD LOAD = 5 LIVE LOAD = 10				CEILING JOISTS DEAD LOAD = 10 LIVE LOAD = 20			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 x 4	11'-10"	10'-9"	10'-2"	9'-3"	9'-3"	8'-0"	7'-4"	6'-7"
2 x 6	15'-8"	16'-11"	15'-7"	13'-11"	13'-11"	12'-0"	11'-0"	9'-10"
2 x 8	24'-7"	21'-7"	19'-8"	17'-7"	17'-7"	15'-3"	13'-11"	12'-6"
2 x 10	26'-0"	25'-7"	23'-5"	20'-11"	20'-11"	18'-1"	16'-6"	14'-9"
2 x 12	26'-0"	25'-4"	23'-0"	23'-0"	23'-0"	20'-3"	18'-8"	15'-10"

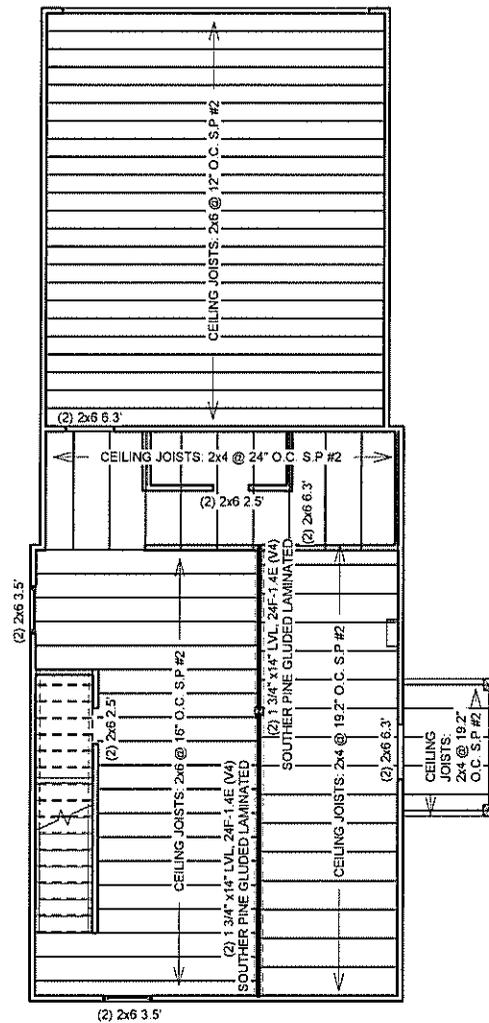
REF. INTERNATIONAL RESIDENTIAL CODE 2018

CEILING JOISTS: UNINHABITABLE ATTICS WITH LIMITED STORAGE,

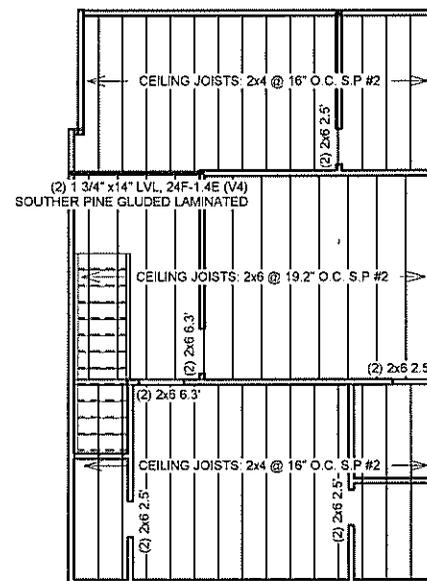
DL = 5psf LL = 10psf, = L/240 Δ
 DL = 10psf LL = 20psf, = L/240 Δ

HEADER SPAN ALLOWANCE (MAXIMUM)

(PLY) SIZE	LOAD BEARING	NON-LOAD BEARING
(2) 2X6	-	4 FT
(2) 2X8's	4 FT	6 FT
(2) 2X10's	6 FT	8 FT
(2) 2X12's	8 FT	10 FT
LOAD BEARING HEADERS GREATER THAN 8'-0" NEED TO BE SIZED		



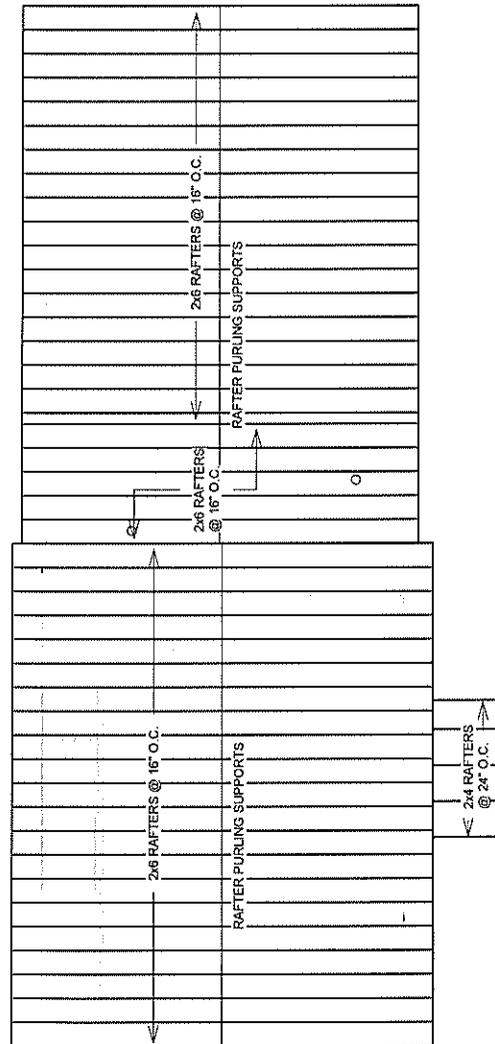
1 CEILING FRAMING
 1/8" = 1'-0"



2 SECOND CEILING FRAMING
 1/8" = 1'-0"

818 W SHEPHERD ST
 DENISON TX 75020

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERROR, OMISSIONS BEFORE FABRICATING ANY WORK TO ANY SCALE DRAWINGS



1 ROOF FRAMING PLAN
 1/8" = 1'-0"

SPAN CHART FOR #2 SOUTHERN PINE

	RAFTERS, CEILING NOT ATTACHED TO RAFTERS				RAFTERS, CEILING ATTACHED TO RAFTERS			
	12"	16"	19.2"	24"	12"	16"	19.2"	24"
2 X 4	9'-0"	7'-9"	7'-1"	6'-4"	9'-0"	7'-9"	7'-1"	6'-4"
2 X 6	13'-6"	11'-8"	10'-8"	9'-6"	13'-6"	11'-8"	10'-8"	9'-6"
2 X 8	17'-1"	14'-9"	13'-6"	12'-1"	17'-1"	14'-9"	13'-6"	12'-1"
2 X 10	20'-3"	17'-6"	16'-0"	14'-4"	20'-3"	17'-6"	16'-0"	14'-4"
2 X 12	23'-10"	20'-8"	18'-10"	16'-10"	23'-10"	20'-8"	18'-10"	16'-10"

RAFTER SPAN CHART (SLATE OR TILE ROOF)

REFERENCE=INTERNATIONAL RESIDENTIAL CODE 2018
 RATERS: CEILING NOT ATTACHED TO RAFTERS
 DL=20 PSF, LL=20 PSF, =L/180
 RAFTERS: CEILING ATTACHED TO RAFTERS,
 DL=20 PSF, LL=20 PSF, =L/240



No.	Description	Date

ROOF FRAMING PLAN

Project number

Date

Drawn by EFREN ESTRADA

A10

Scale 1/8" = 1'-0"

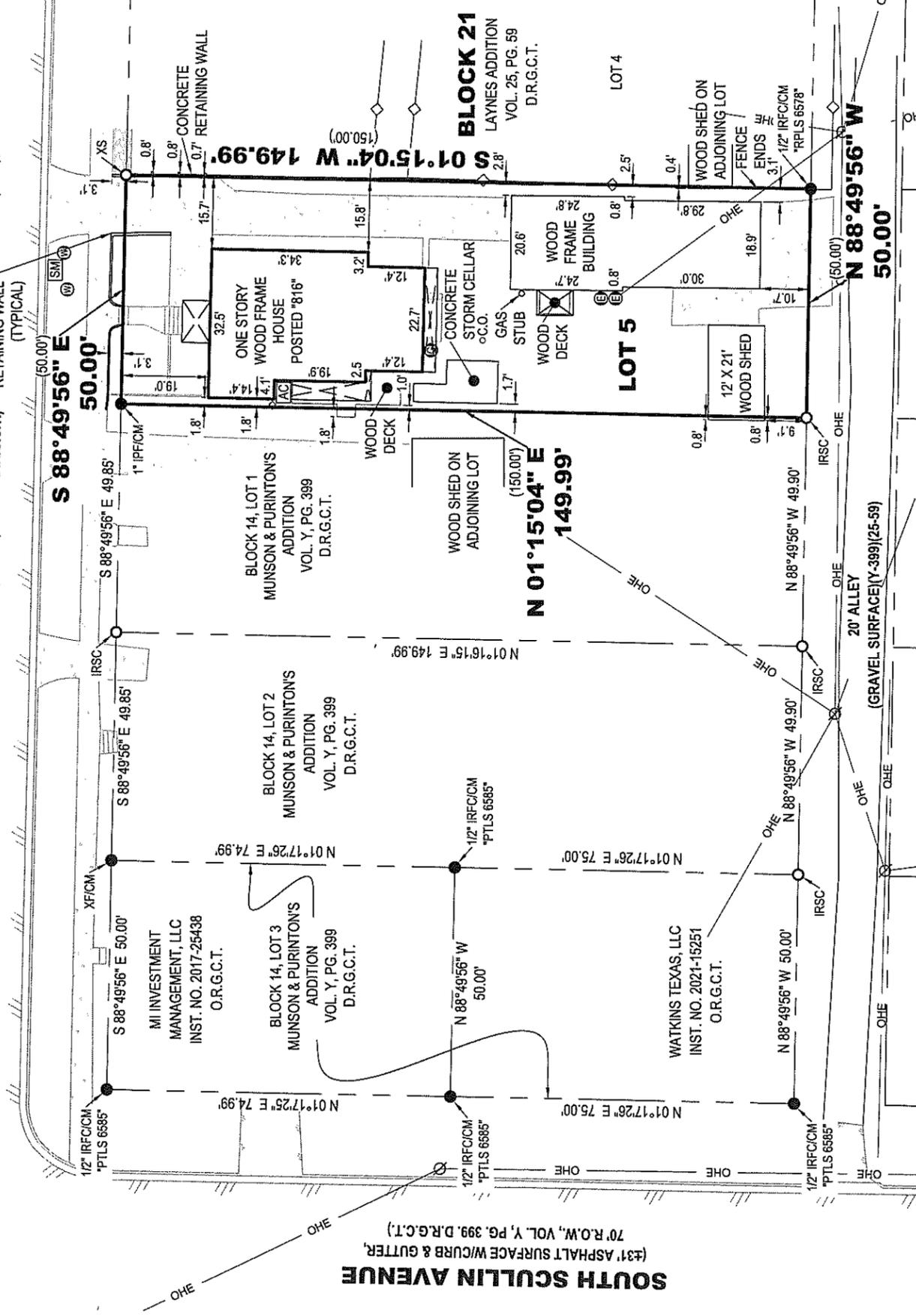


GRAPHIC SCALE IN FEET

All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

WEST SHEPHERD STREET

(±31' ASPHALT SURFACE W/CURB & GUTTER,
70' R.O.W., VOL. Y, PG. 399. D.R.G.C.T.)
CONCRETE
RETAINING WALL
(TYPICAL)



SOUTH SCULLIN AVENUE
(±31' ASPHALT SURFACE W/CURB & GUTTER,
70' R.O.W., VOL. Y, PG. 399. D.R.G.C.T.)

LAND DESCRIPTION:

BEING Lot Number Five (5), in Block Number Twenty-One (21), of Laynes Addition to the City of Denison, Grayson County, Texas, as shown by plat of record in Volume 25, Page 59, Deed Records, Grayson County, Texas.

NOTES ADDRESSING SCHEDULE 'B' EXCEPTIONS:

Only those easements and/or other matters of record, as listed in Title Commitment GF No. 0149472, issued by Texan Title Insurance Company, countersigned by Red River Title Company, with an effective date of March 24, 2025, and an issued date of March 31, 2025, and relisted below were considered for this Survey. The surveyor did not perform an abstract of title.

10a. The surveyed property is subject to any matter, including but not limited to, Easements, Roadways and/or Building Set Back Lines as shown on the recorded plat of Laynes Addition to the City of Denison, Texas, filed of record in Volume 25, Page 59, Deed Records, Grayson County, Texas.

FLOOD STATEMENT:

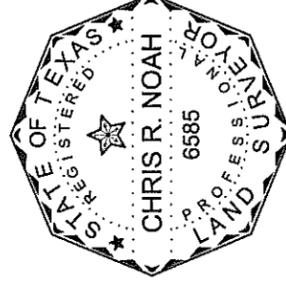
I have examined the F.E.M.A. Flood Insurance Rate Map for City of Denison, Grayson County, Texas, Community Number 480259, effective date 09/29/2010 and that map indicates that this property is within "Non-shaded Zone X" defined as "Areas determined to be outside the 0.2% annual chance flood" as shown on Panel 0285 F of said map. This flood statement does not imply that the property and/or structures thereon will be free from flooding or flood damage, on rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

Certify to: ASJ Homes LLC, Tiffany Donielle Williams, Texan Title Insurance Company, Red River Title Company;

I, Chris R. Noah, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that this survey has been prepared from an actual on-the-ground survey of the premises depicted hereon and described in the land description attached hereto, conducted under my direction and supervision on 03/27/2025, and there are no discrepancies, conflicts, shortages in area or boundary line conflicts, or any intrusions of visible improvements from adjoining tracts, or protrusions of visible improvements onto adjoining tracts, to the best of my knowledge and belief, except as shown. I further certify that this survey meets or exceeds the minimum standards established by the Texas Board of Professional Engineers and Land Surveyors.

Chris R. Noah

Chris R. Noah, R.P.L.S. No. 6585



TITLE SURVEY
BLOCK 21, LOT 5
LAYNES ADDITION
816 West Shepherd Street, Denison
Grayson County, Texas

Preston Trail
LAND SURVEYING

787 W FM 996
Pottsboro, TX 75076
www.prestontrailandsurveying.com
903-786-6029

TBPELS Firm No.
10194175

Drawn by: AIH
Checked by: CRN

Scale: 1"=30'
Date: 04/02/2025

Project No. 25-0088
Sheet No. 1 of 1



Light Industrial

898

W SHEPHERD ST

798

W SHEPHERD

Two-Family (duplex)

SCULLIN

S SCULLIN AVE

719

ARMSTRONG

12

ARMSTRONG AVE

Commercial

Commercial

Local Retail



W Shepherd St

Wed Nov 12, 2025

Imagery © 2026 Nearmap, HERE

20 ft

Nearmap

Page 44 of 44